

AGENDA



PLANNING AND ZONING COMMISSION WORK SESSION MEETING
CITY HALL, 385 SOUTH GOLIAD STREET, ROCKWALL, TEXAS
MAY 30, 2023 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

NOTES: [1] ADDITIONAL CASE INFORMATION CAN BE FOUND AT [HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases), AND [2] TO PROVIDE INPUT ON A ZONING OR SPECIFIC USE PERMIT CASE PLEASE [CLICK HERE](#) OR CLICK ON THE LINK ABOVE AND USE THE ZONING AND SPECIFIC USE PERMIT INPUT FORM ON THE CITY'S WEBSITE.

(I) CALL TO ORDER

(II) APPOINTMENTS

- (1) Appointment with the Architectural Review Board (ARB) Chairman to receive the Architectural Review Board's recommendations and comments for items on the agenda requiring architectural review.

(III) OPEN FORUM

This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas Open Meetings Act.

(IV) CONSENT AGENDA

These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code (UDC) and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.

- (2) Approval of minutes for the May 9, 2023 Planning and Zoning Commission meeting.

(3) **P2023-013 (HENRY LEE)**

Consider a request by Dub Douphrate of Douphrate & Associates, Inc. on behalf of Joanne Vuckovic of the Pregnancy Resource Center for the approval of a Replat for Lot 2, Block A, Pregnancy Resource Center Addition being a 0.32-acre tract of land identified as Lot 1, Block A, Pregnancy Resource Center Addition, City of Rockwall, Rockwall County, Texas, situated within the Scenic Overlay (SOV) District, addressed as 1010 Ridge Road [FM-740], and take any action necessary.

(4) **P2023-014 (HENRY LEE)**

Consider a request by John Gardner of Kirkman Engineering on behalf of Jesus Sanchez of Victory Shops on 205, LLC for the approval of a Replat for Lots 3 & 4, Block 1, Meadowcreek Business Center Addition being a 1.93-acre tract of land identified as Lots 1 & 2, Block 1, Meadowcreek Business Center Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 2325 S. Goliad Street [SH-205], and take any action necessary.

(V) ACTION ITEMS

These items are not advertised public hearings and deal with discretionary approvals for the Planning and Zoning Commission related to variances and special exceptions to the technical requirements of the Unified Development Code (UDC) or Chapter 38, Subdivisions, of the Municipal Code of Ordinances.

- (5) Hold an election to elect a Chairman and Vice-Chairman for the Planning and Zoning Commission in accordance with Subsection 03.03(B) of Article 02, *Development Review Authority*, of the Unified Development Code (UDC), and take any action necessary.

(6) **P2023-012 (HENRY LEE) [POSTPONED TO THE JUNE 13, 2023 PLANNING AND ZONING COMMISSION MEETING]**

Discuss and consider a request by Ryan Joyce on Michael Joyce Properties on behalf of Qualico Development, Inc. for the approval of a Final Plat for the Park Hills Subdivision consisting of 144 single-family residential lots on a 65.309-acre tract of land identified as the Oak Creek Subdivision; Tract 6 of the G. W. Redlin Survey, Abstract No. 183; and being portions of Tracts 1 & 6-1 of the G. W. Redlin Survey, Abstract No. 183, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 98 (PD-98) [Ordinance No. 22-46] for Single-Family 8.4 (SF-8.4) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, generally bounded by John King Boulevard, E. Williams Street, E. Washington Street, and Harry Myers Park, and take any action necessary.

- (7) **SP2023-016 (HENRY LEE) [POSTPONED TO THE JUNE 13, 2023 PLANNING AND ZONING COMMISSION MEETING]**
Discuss and consider a request by Ryan Joyce on Michael Joyce Properties on behalf of Qualico Development, Inc. for the approval of a Site Plan for the Park Hills Subdivision consisting of 144 single-family residential lots on a 65.309-acre tract of land identified as the Oak Creek Subdivision; Tract 6 of the G. W. Redlin Survey, Abstract No. 183; and being portions of Tracts 1 & 6-1 of the G. W. Redlin Survey, Abstract No. 183, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 97 (PD-97) [Ordinance No. 22-46] for Single-Family 8.4 (SF-8.4) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, generally bounded by John King Boulevard, E. Williams Street, E. Washington Street, and Harry Myers Park, and take any action necessary.
- (8) **SP2023-017 (BETHANY ROSS)**
Discuss and consider a request by David Srovi on behalf of Abdul Latif Khan of Center for Peace and Mercy, Inc. for the approval of a Site Plan for a *retail shopping center and house of worship* on a 2.681-acre tract of land identified as Tract 10-1 & 22 of the E. P. G. Chisum Survey, Abstract No. 64, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, located on the north side of Turtle Cove Boulevard north of the intersection of Turtle Cove Boulevard and Ridge Road [FM-740], and take any action necessary.
- (9) **SP2023-018 (HENRY LEE)**
Discuss and consider a request by David Osborn of RACK Holdings for the approval of an Amended Site Plan for an existing industrial building on a 1.50-acre parcel of land identified as Lot 11, Block A, 205 Business Park Addition, City of Rockwall, Rockwall County, Texas, zoned Heavy Commercial (HC) District, addressed as 525 National Drive, and take any action necessary.
- (10) **MIS2023-006 (BETHANY ROSS)**
Discuss and consider a request by George and Dottie Corder for the approval of a Miscellaneous Case for an *Exception* for a front yard fence on a 0.4037-acre parcel of land identified as Lot 9, Block M, Caruth Lakes Addition, Phase 7B, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 5 (PD-5) for Single-Family 7 (SF-7) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, addressed as 1540 Palasades Court, and take any action necessary.

(VI) **DISCUSSION ITEMS**

These items are for discussion between staff and the Planning and Zoning Commission and relate to administrative information and/or cases that will come forward for action or public hearing at a future Planning and Zoning Commission meeting. Public comment on these cases can take place when these items are considered for action by the Planning and Zoning Commission. The anticipated Planning and Zoning Commission public hearing and/or action date for the following cases is June 13, 2023.

- (11) **Z2023-024 (ANGELICA GUEVARA)**
Hold a public hearing to discuss and consider a request by Chris Curra for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.1278-acre parcel of land identified as Lot 6, Block C, Chandler's Landing #16 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for zero lot line homes, addressed as 311 Valiant Drive, and take any action necessary.
- (12) **Z2023-025 (BETHANY ROSS)**
Hold a public hearing to discuss and consider a request by Gene McCorkle of Tuff Shed on behalf of Deborah Julian for the approval of a Specific Use Permit (SUP) for an *Accessory Building* on a 0.1515-acre parcel of land identified as Lot 11, Block C, Highland Meadows #1 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 3065 Winecup Lane, and take any action necessary.
- (13) **Z2023-026 (ANGELICA GUEVARA)**
Hold a public hearing to discuss and consider a request by Gerzim Daniel for the approval of a Zoning Change from an Agricultural (AG) District to a Single-Family 16 (SF-16) District for a 0.93-acre tract of land identified as Tract 17 of the E. M. Elliott Survey, Abstract No. 77, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 2065 Airport Road, and take any action necessary.
- (14) **Z2023-027 (ANGELICA GUEVARA)**
Hold a public hearing to discuss and consider a request by Vanio Dilov for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.2250-acre parcel of land identified as Lot 16, Block A, Chandler's Landing, Phase 20 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family homes, addressed as 110 Mischief Lane, and take any action necessary.
- (15) **Z2023-028 (ANGELICA GUEVARA)**
Hold a public hearing to discuss and consider a request by Alex Flores for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.1650-acre parcel of land identified

as Lot 873-A, Rockwall Lake Estates Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 481 Blanche Drive, and take any action necessary.

(16) Director's Report of post City Council meeting outcomes for development cases **(RYAN MILLER)**.

- P2023-010: Master Plat for the Discovery Lakes Subdivision **(APPROVED)**
- P2023-011: Preliminary Plat for Phase 2 of the Discovery Lakes Subdivision **(APPROVED)**
- Z2023-021: Zoning Change (SF-10 to SF-7) for 405 N. Alamo Street **(1ST READING; APPROVED)**
- Z2023-022: Specific Use Permit (SUP) for a *Freestanding Commercial Antenna* **(1ST READING; APPROVED)**
- Z2023-023: Text Amendment for a *Alcoholic Beverage Package Sales Land Use* **(APPROVED; 1ST READING)**

(VII) ADJOURNMENT

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Local Government Code §55.071 (Consultation with City Attorney) or any other exception allowed under Chapter 551 of the Texas Local Government Code.

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Melanie Zavala, Planning Technician for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on May 26, 2023 at 5:00 PM, and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

MINUTES

PLANNING AND ZONING COMMISSION MEETING CITY HALL, 385 SOUTH GOLIAD, ROCKWALL, TEXAS MAY 9, 2023 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

2 **NOTES:** [1] ADDITIONAL CASE INFORMATION CAN BE FOUND AT
3 [HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases), AND [2] TO PROVIDE INPUT ON A ZONING OR
4 SPECIFIC USE PERMIT CASE PLEASE [CLICK HERE](#) OR CLICK ON THE LINK ABOVE AND USE THE ZONING AND SPECIFIC USE PERMIT INPUT
5 FORM ON THE CITY'S WEBSITE.
6

7 I. CALL TO ORDER

8
9 **Chairman Thomas called the meeting to order at 6:00PM. Commissioners present were John Womble, Ross Hustings, Derek Deckard, Jerry Welch, Jean Conway and Brian Llewelyn. Staff members present were Director of Planning and Zoning Ryan Miller, Planner Bethany Ross, Planner Henry Lee, Planning Technician Angelica Guevara, Planning Coordinator Melanie Zavala, City Engineer Amy Williams, Assistant City Engineer Jonathan Browning and Civil Engineer Sarah Johnston.**
12

14 II. APPOINTMENTS

15
16 1. Appointment with the Architectural Review Board (ARB) Chairman to receive the Architectural Review Board's recommendations and comments for items on
17 the agenda requiring architectural review.
18

19 III. OPEN FORUM

20
21 *This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas Open Meetings Act.*
24

25
26 **Chairman Thomas explained how open forum is conducted and asked if anyone wished to speak to come forward at this time. There being no one indicating such, Chairman Thomas closed the open forum.**
27

29 IV. CONSENT AGENDA

30
31 *These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code (UDC) and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.*
32
33

34 2. Approval of minutes for the April 25, 2023 Planning and Zoning Commission meeting.
35

36 3. **P2023-010 (HENRY LEE)**

37 Discuss and consider a request by Cameron Slown, PE of Teague, Nall & Perkins, Inc. on behalf of the Alberto Dal-Cin of Discovery Lakes, LLC for the approval of a Master Plat for the Discovery Lakes Subdivision consisting of 289 single-family residential lots on a 316.315-acre tract of land identified as Tract 1 of the M. E. Hawkins Survey, Abstract No. 100 and Tract 2 of the R. K. Brisco Survey, Abstract No. 16, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 78 (PD-78) for General Retail (GR) District and Single-Family 10 (SF-10) District land uses, generally located at the northeast corner of the intersection of SH-276 and Rochelle Road, and take any action necessary.
41

43 4. **P2023-011 (HENRY LEE)**

44 Discuss and consider a request by Cameron Slown, PE of Teague, Nall & Perkins, Inc. on behalf of the Alberto Dal-Cin of Discovery Lakes, LLC for the approval of a Preliminary Plat for Phase 2 of the Discovery Lakes Subdivision consisting of 31 single-family residential lots on a 27.465-acre portion of a larger 174.5990-acre tract of land identified as Tract 1 of the M. E. Hawkins Survey, Abstract No. 100, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 78 (PD-78) Single-Family 10 (SF-10) District land uses, generally located at the northeast corner of the intersection of SH-276 and Rochelle Road, and take any action necessary.
47

48
49
50 **Commissioner Conway made a motion to pass the consent agenda. Commissioner Womble seconded the motion which passed by a vote of 7-0.**
51

52 V. PUBLIC HEARING ITEMS

53
54 *This is a time for anyone to speak concerning their issues with a public hearing case. If you would like to speak regarding an item listed in this section, please submit a Request to Address the Planning and Zoning Commission (i.e. the yellow forms available at the podium or from staff). The Planning and Zoning Commission Chairman will call upon you to come forward at the proper time or will ask if anyone in the audience would like to speak. Please limit all comments to three (3) minutes out of respect for the time of other citizens.*
56
57

59 5. **Z2023-021 (ANGELICA GUEVARA)**

60 Hold a public hearing to discuss and consider a request by James Stringfellow and Bethany Rood of Stingfellow Holdings, LLC for the approval of a Zoning Change from a Single-Family 10 (SF-10) District to a Single-Family 7 (SF-7) District for a 1.2811-acre parcel of land identified as Lot 2, Block A, North Alamo Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, situated within the SH-66 Overlay (SH-66 OV) District, addressed as 405 N. Alamo Road, and take any action necessary.
62
63
64

65 Planning Technician Angelica Guevara gave a brief summary in regards to the request. The applicant is requesting an approval for a zoning change
66 from a Single-Family 10 (SF-10) District to a Single-Family 7 (SF-7) District. The purpose for this request is to later subdivide the land and construct
67 two single-family homes on the subject property. While they do meet the 10,000-sq. ft lot requirement for a property in SF-10, they do not meet the
68 street frontage requirement which is why they're wanting to rezone. Staff mailed out 136 notices to property owners and occupants within 500-feet
69 of the subject property. At this time, staff had received two (2) notices and one (1) email in favor and one (1) in opposition to the request.

70
71 **Brittany Rood**
72 405 N. Alamo
73 Rockwall, TX 75087

74
75 Mrs. Rood came forward and provided additional details in regards to her request.
76

77 Chairman Thomas opened the public hearing and asked anyone who wished to come forward at this time. There being no one indicating such,
78 Chairman Thomas closed the public hearing and brought the item back to the Commission for discussion or action.
79

80 Vice-Chairman Deckard made a motion to approve Z2023-021. Commissioner Womble seconded the motion which passed by a vote of 7-0.
81

82 Chairman Thomas advised that this item will go before City Council on May 15, 2023.
83

84 **6. Z2023-022 (HENRY LEE)**

85 Hold a public hearing to discuss and consider a request by Dub Douphrate of Douphrate and Associates on behalf of Dewayne Cain for the approval of a *Specific*
86 *Use Permit (SUP)* for a *Freestanding Commercial Antenna* on a 0.1234-acre tract of land identified as a portion of Tract 14 of the D. Harr Survey, Abstract No.
87 102, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 100 (PD-100) for Single-Family 1 (SF-1) and General Retail (GR) District
88 land uses, situated within the East SH-66 Overlay (E. SH-66 OV) District, generally located southside of SH-66 east of the intersection of SH-66 and Davis
89 Drive, and take any action necessary.

90
91 Planner Henry Lee gave a brief summary in regards to the request. The applicant is requesting a Specific Use Permit (SUP) for a freestanding commercial
92 antenna. They currently have it set in an 8-foot wrought iron enclosure with shrubs all around it. They also currently show the structure height as 110-feet with
93 a 5-foot lightning rod making the total height 115-feet. However, the applicant is aware that the height needs to be 110 -feet and staff has included this as a
94 condition of approval for this case. Planner Lee advised that they are working through revisions addressing three-tiered screening as well as on their parking.
95 He also added that staff sent out 14 notices on April 18, 2023. At the moment, staff has received six (6) notices from five (5) property owners in favor; two (2) of
96 which are from the applicant **making the request**.

97
98 **Dewayne Cain**
99 305 Stonebridge Drive
100 Rockwall, TX 75087

101
102 Mr. Cain came forward and provided additional details in regards to the request.
103

104 Commissioner Llewelyn wanted to go over the conditions of approval.
105

106 **Dub Douphrate**
107 2325 Ridge Road
108 Rockwall, TX 75087

109
110 Mr. Douphrate came forward and provided additional details in regards to the request.
111

112 Chairman Thomas opened the public hearing and asked anyone who wished to come forward at this time. There being no one indicating such,
113 Chairman Thomas closed the public hearing and brought the item back to the Commission for discussion or action.
114

115 Commissioner Llewelyn made a motion to approve Z2023-022. Commissioner Conway seconded the motion which passed by a vote of 7-0.
116

117 Chairman Thomas advised that this item will go before City Council on May 15, 2023.
118

119 **7. Z2023-023 (RYAN MILLER)**

120 Hold a public hearing to discuss and consider a *Text Amendment* to Article 04, *Permissible Uses*, and Article 13, *Definitions*, of the Unified Development Code
121 (UDC) for the purpose of creating an *Alcoholic Beverage Package Sales* land use, and take any action necessary.
122

123 Director of Planning and Zoning Ryan Miller gave a brief summary in regards to the request. Mr. Miller explained the proposed Text Amendment that
124 will create two new uses: the first being *Alcoholic Beverage Package Sales*. This will be regulated so that it is permitted by right in the Downtown
125 (DT) District, General Retail (GR) District, Commercial (C) District, Heavy Commercial (HC) District, and in Neighborhood Services (NS) District and
126 Light Industrial (LI) District but only with an SUP. In addition, a new use is being created as well called *Alcoholic Beverage Package Store*. The first
127 use is to define the sales of alcohol and the second use is to define where it can be sold. The City currently does not have the open option elections
128 to sell liquor or distilled spirits. Director Miller advised that Staff set up Conditional Use requirements for the *Alcoholic Beverage Store* land use.
129

130 Chairman Thomas opened the public hearing and asked anyone who wished to come forward at this time. There being no one indicating such,
131 Chairman Thomas closed the public hearing and brought the item back to the Commission for discussion or action.
132

133 Commissioner Womble made a motion to approve Z2023-023. Commissioner Llewelyn seconded the motion which passed by a vote of 7-0.

134
135 Chairman Thomas advised that this item will go before City Council on May 15, 2023.

136
137 VI. ACTION ITEMS

138
139 *These items are not advertised public hearings and deal with discretionary approvals for the Planning and Zoning Commission related to variances and special*
140 *exceptions to the technical requirements of the Unified Development Code (UDC) or Chapter 38, Subdivisions, of the Municipal Code of Ordinances.*
141

142 8. **SP2023-012 (HENRY LEE) [POSTPONED TO THE MAY 30, 2023 PLANNING AND ZONING COMMISSION MEETING]**

143 Discuss and consider a request by Ryan Joyce on Michael Joyce Properties on behalf of Qualico Development, Inc. for the approval of a Final Plat for the Park
144 Hills Subdivision consisting of 144 single-family residential lots on a 65.309-acre tract of land identified as the Oak Creek Subdivision; Tract 6 of the G. W. Redlin
145 Survey, Abstract No. 183; and being portions of Tracts 1 & 6-1 of the G. W. Redlin Survey, Abstract No. 183, City of Rockwall, Rockwall County, Texas, zoned
146 Planned Development District 98 (PD-98) [Ordinance No. 22-46] for Single-Family 8.4 (SF-8.4) District land uses, situated within the SH-205 By-Pass Overlay
147 (SH-205 BY-OV) District, generally bounded by John King Boulevard, E. Williams Street, E. Washington Street, and Harry Myers Park, and take any action
148 necessary.

149
150 Chairman Thomas advised that this item was postponed to the May 30, 2023 Planning and Zoning Meeting.

151
152 9. **SP2023-013 (BETHANY ROSS)**

153 Discuss and consider a request by Dub Douphrate of Douphrate and Associates on behalf of Vache Ourfalian for the approval of a Site Plan to convert a single-
154 family home into an office building on a 0.88-acre tract of land identified as Lot 4 of the Greenvally Addition and a portion of Tract 22 of the H. B. Jones Survey,
155 Abstract No. 124, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 69 (PD-69) for Residential-Office (RO) District, situated within
156 the North SH-205 Overlay (N. SH-205 OV) District, addressed as 1209 N. Goliad Street [SH-205], and take any action necessary.

157
158 Director of Planning and Zoning Ryan Miller gave a brief summary in regards to the request. The applicant is requesting a site plan to convert an
159 existing residential structure into an office building. It is zoned Planned Development District 69 (PD-69) which is a flexible zoning district that allows
160 both live/work situations. He added that this was a Code Enforcement referral case where the applicants were notified that they were not in
161 compliance but the use that they are proposing is allowed by right. They are showing a current plan and a future plan for the possible addition to the
162 back. Currently, the shed in the back is being required to move because it does not meet the definition for a commercial structure. The applicants
163 are trying to maintain the residential look while allowing the flexibility to change into commercial so in lieu of the three-tiered screening, staff has
164 required for them to provide canopy trees along the back adjacency.

165
166 Dub Douphrate
167 2325 Ridge Road
168 Rockwall, TX 75087

169
170 Mr. Douphrate came forward and provided additional details in regards to the request.

171
172 Commissioner Welch made a motion to approve SP2023-013. Chairman Womble seconded the motion which passed by a vote of 7-0.

173
174 10. **SP2023-014 (BETHANY ROSS)**

175 Discuss and consider a request by Ashley Egan for the approval of an Amended Site Plan for an office building on a 0.5090-acre tract of land identified Block
176 80 B of the B. F. Boydston Survey, City of Rockwall, Rockwall County, Texas, zoned Residential-Office (RO) District, addressed as 108 St. Mary's Street, and
177 take any action necessary.

178
179 Director of Planning and Zoning Ryan Miller gave a brief summary in regards to the request. The applicant is requesting to amend an existing site
180 plan that proposed two (2) buildings in 2019. She is only looking to convert the residential home to a wellness center but staff refers to it as a medical
181 office. As with the existing site plan, the space between the house and the side property line is very tight to where we can only fit the required 24-
182 foot cross access easement. This doesn't leave any room to provide the three-tiered screening required along that side. However, the applicant is
183 wanting to maintain the residential look. This variance was previously approved but, since the applicant is wanting to amend the site plan, then Staff
184 has to bring it back up for approval. Other than that, this request meets all of the City's requirements and is in substantial conformance to the
185 Residential Office (RO) District.

186
187 Alyssa Cornelius
188 1007 Shepard Lane
189 Lavon, TX 75166

190
191 Mrs. Cornelius came forward and provided additional details in regards to the request.

192
193 Vice-Chairman Deckard made a motion to approve SP2023-014. Commissioner Hustings seconded the motion which passed by a vote of 7-0.

194
195 11. **SP2023-015 (BETHANY ROSS)**

196 Discuss and consider a request by Jimmy Strohmeier of Strohmeier Architects, Inc. on behalf of Dan Bobst of HH Retail Center, LP for the approval of a Site
197 Plan for a restaurant on a 2.893-acre parcel of land identified as Lot 2, Block B, Harbor District Addition, City of Rockwall, Rockwall County, Texas, situated
198 within the Hillside Subdistrict of Planned Development District 32 (PD-32), located within the IH-30 Overlay (IH-30 OV) District, addressed as 2610 Sunset Ridge
199 Drive, and take any action necessary.

200

201 Director of Planning and Zoning Ryan Miller gave a brief summary in regards to the request. The applicant is requesting approval of a site plan for a
202 one-building, 5,000-square foot restaurant. The reason why this is coming before the Commission is because there are three variances listed. One
203 is for the four-sided architecture, and two to the roof design standards which are less than 6,000-square feet. The third and last variance is for the
204 20% stone requirement. Director Miller advised that the ARB did review the plans and made a couple recommendations specifically pertaining to the
205 south side elevation and the applicant did make the requested changes. The applicants did provide all changes that staff requested.
206

207 Commissioner Hustings made a motion to approve SP2023-015. Commissioner Llewelyn seconded the motion which passed by a vote of 7-0.
208

209 12. **SP2023-016 (HENRY LEE) [POSTPONED TO THE MAY 30, 2023 PLANNING AND ZONING COMMISSION MEETING]**
210 Discuss and consider a request by Ryan Joyce on behalf of Michael Joyce Properties on behalf of Qualico Development, Inc. for the approval of a Site Plan for the Park
211 Hills Subdivision consisting of 144 single-family residential lots on a 65.309-acre tract of land identified as the Oak Creek Subdivision; Tract 6 of the G. W. Redlin
212 Survey, Abstract No. 183; and being portions of Tracts 1 & 6-1 of the G. W. Redlin Survey, Abstract No. 183, City of Rockwall, Rockwall County, Texas, zoned
213 Planned Development District 97 (PD-97) [Ordinance No. 22-46] for Single-Family 8.4 (SF-8.4) District land uses, situated within the SH-205 By-Pass Overlay
214 (SH-205 BY-OV) District, generally bounded by John King Boulevard, E. Williams Street, E. Washington Street, and Harry Myers Park, and take any action
215 necessary.
216

217 Chairman Thomas advised that this item was postponed to the May 30, 2023 Planning and Zoning Meeting.
218

219 13. **SP2023-017 (BETHANY ROSS) [POSTPONED TO THE MAY 30, 2023 PLANNING AND ZONING COMMISSION MEETING]**
220 Discuss and consider a request by David Srovji on behalf of Abdul Latif Khan of Center for Peace and Mercy, Inc. for the approval of a Site Plan for a retail
221 shopping center and house of worship on a 2.681-acre tract of land identified as Tract 10-1 & 22 of the E. P. G. Chisum Survey, Abstract No. 64, City of Rockwall,
222 Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, located on the north side of Turtle Cove Boulevard
223 north of the intersection of Turtle Cove Boulevard and Ridge Road [FM-740], and take any action necessary.
224

225 Chairman Thomas advised that this item was postponed to the May 30, 2023 Planning and Zoning Meeting.
226

227 VII. DISCUSSION ITEMS
228

- 229 14. Director's Report of post City Council meeting outcomes for development cases (RYAN MILLER).
230
- 231 • P2023-008: Conveyance Plat for Lots 1 & 2, Block A, George Morton Estates Addition [APPROVED]
 - 232 • P2023-009: Final Plat for Lots 1 & 2, Block A, Cambridge Estates Addition [APPROVED]
 - 233 • Z2023-014: Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for 512 Dickey Street [2ND READING; APPROVED]
 - 234 • Z2023-015: Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for 223 Russell Drive [2ND READING; APPROVED]
 - 235 • Z2023-017: Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for 711 Parks Avenue [2ND READING; APPROVED]
 - 236 • Z2023-019: Text Amendment for the Credit Access Business Land Use [APPROVED; 2ND READING]
 - 237 • Z2023-020: Comprehensive Plan Amendment to Update the Master Thoroughfare Plan (MTP) [APPROVED; 2ND READING]
 - 238

239 Director of Planning and Zoning Ryan Miller provided a brief update about the outcome of the above referenced cases at the City Council meeting.
240

241 VIII. ADJOURNMENT
242

243 Chairman Thomas adjourned the meeting at 6:32PM
244

245 PASSED AND APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL, Texas, this _____ day of _____
246 _____, 2023.
247

248
249 _____
250 Attest: Sedric Thomas, Chairman
251 _____
252 Melanie Zavala, Planning Coordinator
253



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: May 30, 2023
APPLICANT: Dub Douphrate, *Douphrate & Associates, Inc.*
CASE NUMBER: P2023-013; *Replat for Lot 2, Block A, Pregnancy Resource Center Addition*

SUMMARY

Consider a request by Dub Douphrate of Douphrate & Associates, Inc. on behalf of Joanne Vuckovic of the Pregnancy Resource Center for the approval of a Replat for Lot 2, Block A, Pregnancy Resource Center Addition being a 0.32-acre tract of land identified as Lot 1, Block A, Pregnancy Resource Center Addition, City of Rockwall, Rockwall County, Texas, situated within the Scenic Overlay (SOV) District, addressed as 1010 Ridge Road [FM-740], and take any action necessary.

PLAT INFORMATION

- The purpose of the applicant's request is to Replat a 0.32-acre parcel of land (*i.e. Lot 1, Block A, Pregnancy Resource Center Addition*) into one (1) lot (*i.e. Lot 2, Block A, Pregnancy Resource Center Addition*) for the purpose of amending a drainage easement for a future expansion of the existing building. The subject property is located southwest corner of the intersection of Ridge Road [FM-740] and Summit Ridge Drive, and is zoned Planned Development District 53 (PD-53) for Residential Office (RO) land uses.
- The subject property was annexed into the City of Rockwall on June 20, 1959 (*Case No. A1959-002*) by *Ordinance No. 59-02*. The subject property was zoned Single-Family 2 (SF-2) District according to the January 3, 1972 zoning map. According to the May 16, 1983 historic zoning map at some point between January 3, 1972 and May 16, 1983 the subject property was rezoned to a Single-Family 10 (SF-10) District. On July 1, 2003, the City Council approved a zoning change (*Ordinance No. 02-33*) for the subject property rezoning it from a Single-Family 10 (SF-10) District to Planned Development District 53 (PD-53) for Residential Office (RO) land uses. On June 2, 2014, the City Council approved an amendment (*Case No. Z2014-011; Ordinance No. 14-33*) to Planned Development District 53 (PD-53). At some point before February 10, 2016, the subject property was platted as Lot 3 of the R. S. Lofland Subdivision. On February 10, 2016, the City Council approved a final plat (*Case No. P2015-034*) that establish the subject property as Lot 1, Block A, Pregnancy Resource Center Addition.
- The surveyor has completed the majority of the technical revisions requested by staff, and this Replat -- *conforming to the requirements for plats as stipulated by the Subdivision Ordinance in the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional approval of this Replat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of the *Subdivision Ordinance* in the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of a Replat for Lot 2, Block A, Pregnancy Resource Center Addition, staff would propose the following conditions of approval:

- (1) All technical comments from City Staff (*i.e. Engineering, Planning and Fire Department*) shall be addressed prior to submittal of civil engineering plans; and
- (2) Any construction resulting from the approval of this Replat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 5/25/2023

PROJECT NUMBER: P2023-013
PROJECT NAME: Replat for Lot 2, Block A, Pregnancy Resource Center
SITE ADDRESS/LOCATIONS: 1008 RIDGE RD

CASE CAPTION: Consider a request by Dub Douphrate of Douphrate & Associates, Inc. on behalf of Joanne Vuckovic of the Pregnancy Resource Center for the approval of a Replat for Lot 2, Block A, Pregnancy Resource Center Addition being a 0.32-acre tract of land identified as Lot 1, Block A, Pregnancy Resource Center Addition, City of Rockwall, Rockwall County, Texas, situated within the Scenic Overlay (SOV) District, addressed as 1010 Ridge Road (FM-740), and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	05/25/2023	Approved w/ Comments

05/25/2023: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 Consider a request by Dub Douphrate of Douphrate & Associates, Inc. on behalf of Joanne Vuckovic of the Pregnancy Resource Center for the approval of a Replat for Lot 2, Block A, Pregnancy Resource Center Addition being a 0.32-acre tract of land identified as Lot 1, Block A, Pregnancy Resource Center Addition, City of Rockwall, Rockwall County, Texas, situated within the Scenic Overlay (SOV) District, addressed as 1010 Ridge Road (FM-740).

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (P2023-013) in the lower right-hand corner of all pages on future submittals. (Subsection 10, of Chapter 38, City of Rockwall Municipal Code of Ordinances)

I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC) and Chapter 38 of the Municipal Code of Ordinances that are applicable to the subject property.

M.5 Please correct the title block to the following. (Subsection 10, of Chapter 38, City of Rockwall Municipal Code of Ordinances)

Final Plat
Lot 2, Block A
Pregnancy Resource Center Addition
Being a Replat of
Lot 1, Block A
Pregnancy Resource Center Addition
Being
1 Lot
0.32 Acres or 13,807 SF
Situated in the
B. J. T Lewis Survey, Abstract No. 255

M.6 On the plat, label the Parcel as Lot 2, Block A, 0.32 Acres, 13,807 SF. (Subsection 10, of Chapter 38, City of Rockwall Municipal Code of Ordinances)

M.7 Remove the landscape setback from the plat. (Subsection 10, of Chapter 38, City of Rockwall Municipal Code of Ordinances)

M.8 Please match the standard plat wording, dedication language, surveyor seal/signature, and the plat approval signatures with the new subdivision ordinance; Section 38-7, Subsections A.b, A.c, A.d, A.e, and C7. (Subsection 10, of Chapter 38, City of Rockwall Municipal Code of Ordinances)

M.9 Please provide the public improvement statement, and #7 in the Owner's Certificate must be a general note. (Subsection 10, of Chapter 38, City of Rockwall Municipal Code of Ordinances)

I.10 Staff has identified the aforementioned items necessary to continue the submittal process. Please make all revisions and corrections and return to staff as soon as possible for a subsequent review prior approval. The Planning and Zoning Commission Meeting for this case will be held on May 30, 2023.

1.11 Staff recommends that a representative be present for all meetings.

1.12 The projected City Council Meeting date for this case will be June 5, 2023.

1.13 Please note that once the Replat has been approved by the Planning and Zoning Commission and City Council, the case will be considered to be conditionally approved pending all of staff's comments from all City Departments and any applicable conditions of approval contained in staff's case memo are addressed prior to the subdivision plat being filed.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	05/25/2023	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	05/22/2023	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	05/23/2023	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	05/23/2023	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	05/19/2023	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	05/22/2023	Approved
No Comments			



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO.

P2023-013

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1&2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION (PLEASE PRINT)

ADDRESS

1010 of
~~1008~~ Ridge Rd

SUBDIVISION

Lot 1 Block A Pregnancy Resource Ctr

LOT

BLOCK

GENERAL LOCATION

Summit Ridge, & Ridge Rd SW corner.

ZONING, SITE PLAN AND PLATTING INFORMATION (PLEASE PRINT)

CURRENT ZONING

PD-53

CURRENT USE

office

PROPOSED ZONING

PD-53

PROPOSED USE

office

ACREAGE

.32

LOTS [CURRENT]

LOTS [PROPOSED]

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION (PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED)

OWNER

Pregnancy Resource Center

APPLICANT

Doughrate & Assoc. Inc.

CONTACT PERSON

Joanne Vuckovic

CONTACT PERSON

Dub Doughrate

ADDRESS

1008 Ridge Rd
1010 of

ADDRESS

2235 Ridge Rd

CITY, STATE & ZIP

Rockwall, TX 75087

CITY, STATE & ZIP

Rockwall, TX 75087

PHONE

972 772 8292

PHONE

972 742 2210

E-MAIL

E-MAIL

wldoughrate@
doughrate.com

NOTARY VERIFICATION (REQUIRED)

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Joanne Vuckovic [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

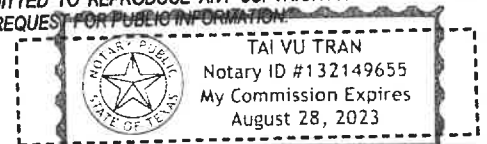
I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 320 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 17th DAY OF May, 2023. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17th DAY OF May, 2023.

OWNER'S SIGNATURE

Joanne Vuckovic

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

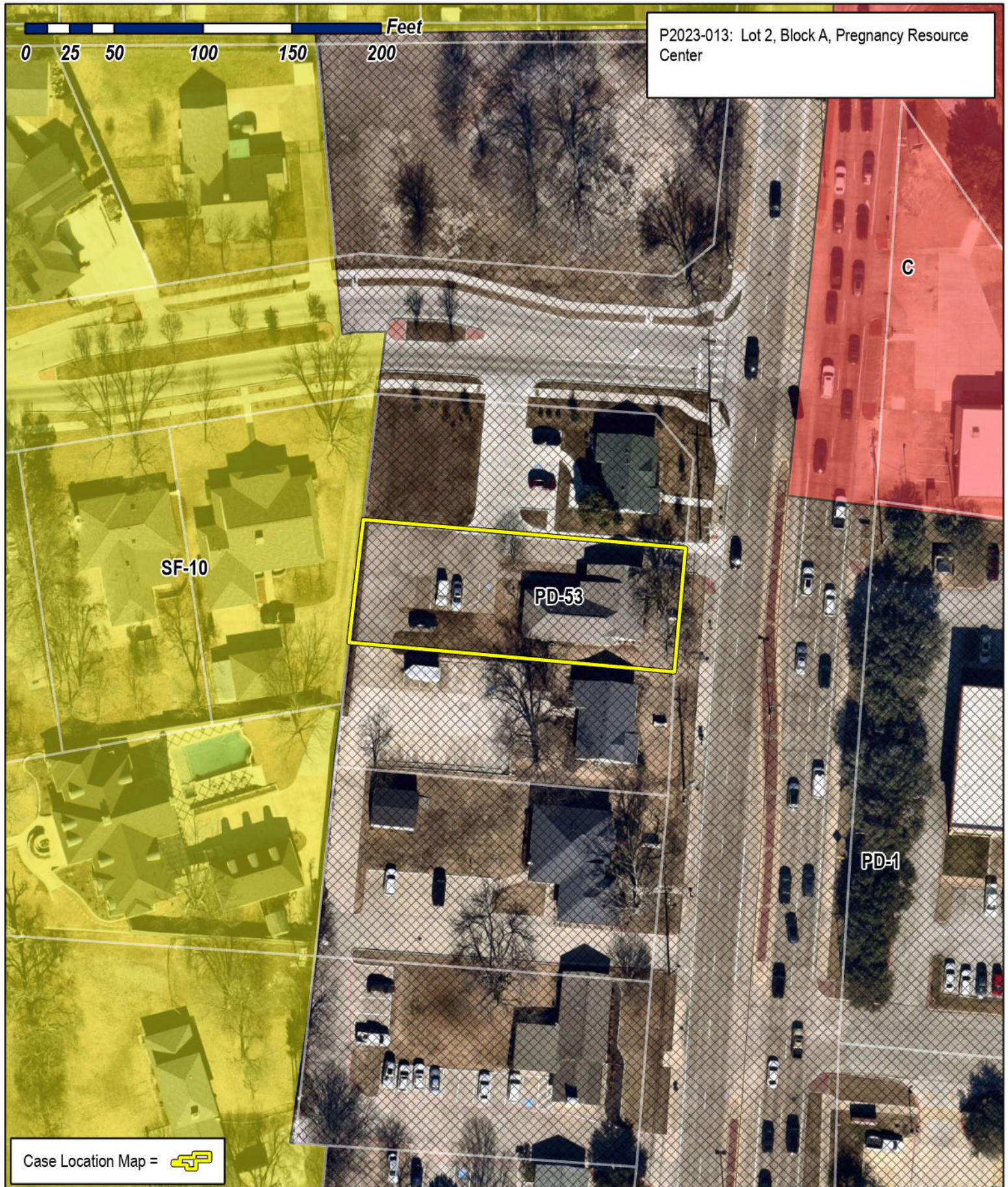


MY COMMISSION EXPIRES 08/28/2023

Feet

0 25 50 100 150 200

P2023-013: Lot 2, Block A, Pregnancy Resource Center



SF-10

PD-53

C

PD-1

Case Location Map = 

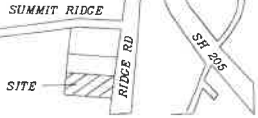


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





VICINITY MAP
N.T.S.

NOTE:

1. Bearings based on Lot 1, Block A, Pregnancy Resource Center Addition as recorded in Cribinal 1, Slide 307 of the Plat Records of Rockwall County, Texas.

LEGEND:
IRFC = IRON ROD FOUND WITH CAP
CUT X = FOUND CUT X IN CONCRETE
P.R.R.C.T. = PLAT RECORDS OF ROCKWALL COUNTY, TEXAS
U.E. = UTILITY EASEMENT
R.O.W. = RIGHT-OF-WAY

RIDGE ROAD VILLAGE
CAB. A, SLIDE 35
P.R.R.C.T.

LOT 3, BLOCK D

STATE PLANE COORD.
N 7,023,490.82
E 2,583,989.52

1/2" IRP
20' PUBLIC ACCESS EASEMENT
N 8°33'51" E 70.19'

1/2" IRP

LOT 4, BLOCK D

20' CROSS ACCESS EASEMENT

1/2" IRP

20' MUTUAL ACCESS ESM'T

CORRIGANCOWAN, LLC
1000 RIDGE ROAD
LOT 1, BLOCK 1
COODMAN ADDITION
CAB. C, SLIDE 16
P.R.R.C.T.

15' MUTUAL ACCESS ESM'T
CITY OF ROCKWALL
REL. 02, 09, 271

S 85°30'18" E 197.14'

1010 RIDGE ROAD
LOT 1, BLOCK A
PREGNANCY RESOURCE CENTER
CAB. I, SLIDE 307
P.R.R.C.T.

EXISTING DEPRESSION/DRAINAGE EASEMENT



DETENTION EASEMENT
FOR THIS PLAT

N 85°37'35" W 197.52'

GUSSIO PROPERTIES, LLC
1012 RIDGE ROAD
LOT 1, BLOCK 1
GUSSIO ADDITION
CAB. C, SLIDE 317
P.R.R.C.T.

15' MUTUAL ACCESS ESM'T
CITY OF ROCKWALL
REL. 02, 09, 271

TX200' MON

1/2" IRP
S 51°52'12" W 69.77'

RIDGE ROAD
F.M. HWY. 740
VARIOUS WIDTH ACFT.

FINAL PLAT
LOT 1R, BLOCK A
PREGNANCY RESOURCE CENTER
BEING A REPLAT OF LOT 1, BLOCK A PREGNANCY RESOURCE CENTER
B.J.T. LEWIS SURVEY, ABSTRACT No. 255
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.

Surveyor:
Randy Rangel
Rangel Land Surveying
1012 Timberline Drive
Heath, Texas 75032
214-325-8026
Rangelandsurvey@sub.com

Engineer:
Doughraie & Associates, Inc
2235 Ridge Road, Suite 200
Rockwall, Texas 75087
214-771-9004

OWNER:
PREGNANCY RESOURCE CENTER OF LAKE RAY HUBBARD
1010 RIDGE RD
ROCKWALL, TX 75087
972-722-8292

OWNERS CERTIFICATE:

STATE OF TEXAS
COUNTY OF ROCKWALL

WHEREAS, PREGNANCY RESOURCE CENTER OF LAKE RAY HUBBARD, BEING the owners of Lot 1, Block A of Pregnancy Resource Center as recorded in Cabinet 1, Slide 307 of the Plat Records of Rockwall County, Texas, and being more particularly described as follows;

All that certain lot, tract or parcel of land situated in the B.J.T. LEWIS SURVEY, ABSTRACT No. 255, City of Rockwall, Rockwall County, Texas and being all of Lot 1, Block A of the Pregnancy Resource Center as recorded in Cabinet 1, Slide 307 of the Plat Records of Rockwall County, Texas;

BEGINNING at a 1/2" iron rod found for the northeast corner of Lot 1, Block 1 of the CUSSIO ADDITION, an addition to the City of Rockwall, Texas according to the the Plat thereof recorded in Cabinet C, Slide 317 of the Plat Records of Rockwall, County Texas and the southeast corner of said Lot 1, Block A of said Pregnancy Resource Center, said point being of the west right-of-way line of Ridge Road P.M. 740;

THENCE North 85°37'35" West along the common line of Lot 1, Block A of the Pregnancy Resource Center lot and Lot 1, Block 1 of the CUSSIO lot, a distance of 197.52' to a 1/2" iron rod found for a corner;

THENCE North 5°33'51" East a distance of 70.19' to a 1/2" iron rod found for a corner;

THENCE South 85°30'18" East a distance of 197.14' to a 1/2" iron rod found on the west right-of-way line of said Ridge Road;

THENCE South 5°15'24" West a distance of 69.77' to the POINT OF BEGINNING and containing 13,807 square feet or 0.32 acres of land.

OWNER'S CERTIFICATE:

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

Pregnancy Resource Center of Lake Ray Hubbard, the undersigned owner of the land shown on this plat, and designated herein as Lot 1R, Block A, Pregnancy Resource Center subdivision in the City of Rockwall, Texas, and whose name is subscribed herein, hereby dedicates to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in the Lot 3, Rockwall Market Center South, subdivision have been notified and signed this plat. I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I also understand the following:

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon said easement strips for purposes of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by the storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which the property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewer, and alleys, all according to the specifications of the City of Rockwall; or Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such a written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer's progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.
7. Property owners are responsible for maintenance, repair, and replacement of all retaining walls and drainage and detention systems in easements.

I further acknowledge that the dedications and/or easements made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City. I, my successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of dedication of easements made herein.

FOR: PREGNANCY RESOURCE CENTER OF LAKE RAY HUBBARD

By:

FOR: _____ (LIEN HOLDER)

BY: _____ NAME: _____

TITLE:

APPROVAL CERTIFICATE

Planning & Zoning Commission, Chairman _____ Date _____

APPROVED: I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the _____ day of _____, 2023.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred and eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this _____ day of _____, 2023.

Mayor, City of Rockwall _____ City Secretary _____ City Engineer _____

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

That I Rudy Rangel, do hereby certify that this plat was prepared from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

GIVEN UNDER MY HAND AND SEAL THIS _____ DAY _____, 2023.

RUDY RANGEL
REGISTERED PROFESSIONAL LAND SURVEYOR
STATE OF TEXAS NO. 5564
TDLPS No. 10077100

NOTARY CERTIFICATE

STATE OF _____
COUNTY OF _____

Before me, the undersigned authority, a Notary Public in and for the said County and State on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he/she executed the same for the purposes and considerations therein expressed and in the capacity therein stated and as the act and deed therein stated.

Given under my hand and seal of office, this _____ day of _____, 2023.

Notary Signature _____

Engineer:
Douglas & Associates, Inc
2235 Ridge Road, Suite 200
Rockwall, Texas 75087
214-771-9004

Surveyor:
Rudy Rangel
Rangel Land Surveying
1012 Timberline Drive
Heath, Texas 75032
214-325-8026
Rangelandsurvey@sub.com

OWNER:
PREGNANCY RESOURCE CENTER OF LAKE RAY HUBBARD
1010 RIDGE RD
ROCKWALL, TX 75087
972-722-8292

FINAL PLAT
LOT 1R, BLOCK A
PREGNANCY RESOURCE CENTER
BEING A REPLAT OF LOT 1, BLOCK A PREGNANCY RESOURCE CENTER
B.J.T. LEWIS SURVEY, ABSTRACT No. 255
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

CITY CASE No. _____ SHEET 2 OF 2



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: May 30, 2023
APPLICANT: John Gardner, *Kirkman Engineering*
CASE NUMBER: P2023-014; *Replat for Lots 3 & 4, Block 1, Meadowcreek Business Center Phase 1 Addition*

SUMMARY

Consider a request by John Gardner of Kirkman Engineering on behalf of Jesus Sanchez of Victory Shops on 205, LLC for the approval of a Replat for Lots 3 & 4, Block 1, Meadowcreek Business Center Addition being a 1.93-acre tract of land identified as Lots 1 & 2, Block 1, Meadowcreek Business Center Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 2325 S. Goliad Street [*SH-205*], and take any action necessary.

PLAT INFORMATION

- The purpose of the applicant's request is to Replat a 1.93-acre parcel of land (*i.e. Lot 1, Block 1, Meadowcreek Business Center Phase 1 Addition*) into two (2) lots (*i.e. Lots 3 & 4, Block 1, Meadowcreek Business Center Phase 1 Addition*) and establish the necessary fire lane and utility easements to facilitate the construction of a drive-through restaurant. The subject property is located directly east of the intersection of S. Goliad Street [*SH-205*] and E. Ralph Hall Parkway, and is zoned Commercial (C) District.
- The subject property was annexed into the City of Rockwall on September 16, 1974 by *Ordinance No. 74-22 [Case No. A1974-002]*. The City's historic zoning map indicates the subject property was zoned Office (OF) District as of May 16, 1983. Sometime between May 16, 1983 and April 5, 2005 the zoning of the subject property was changed from an Office (OF) District to a Commercial (C) District. On December 27, 2005, the City Council approved a final plat [*Case No. P2005-047*] that established the subject property as Lot 2, Block 1, Meadowcreek Business Center Phase 1 Addition. The subject property has remained vacant since it was annexed in 1974. On February 7, 2022, the City Council approved a Specific Use Permit (SUP) (*S-270*) for a *Restaurant with Less Than 2,000 SF with a Drive-Through or Drive-In* [*Case No. Z2021-055; Ordinance No. 22- 07*]. On July 26, 2022, the Planning and Zoning Commission approved a site plan [*Case No. SP2022-033*] to allow the construction of a *Restaurant with Less Than 2,000 SF with a Drive-Through or Drive-In*.
- The surveyor has completed the majority of the technical revisions requested by staff, and this Replat -- *conforming to the requirements for plats as stipulated by the Subdivision Ordinance in the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional approval of this Replat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of the *Subdivision Ordinance* in the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of a Replat for *Lots 3 & 4, Block 1, Meadowcreek Business Center Phase 1 Addition*, staff would propose the following conditions of approval:

- (1) All technical comments from City Staff (*i.e. Engineering, Planning and Fire Department*) shall be addressed prior to submittal of civil engineering plans; and
- (2) Any construction resulting from the approval of this Replat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 5/25/2023

PROJECT NUMBER: P2023-014
PROJECT NAME: Replat for Lot 2, Block 1, Meadowcreek Business Center
SITE ADDRESS/LOCATIONS: 2325 S GOLIAD ST

CASE CAPTION: Consider a request by John Gardner of Kirkman Engineering on behalf of Jesus Sanchez of Victory Shops on 205, LLC for the approval of a Replat for Lots 3 & 4, Block 1, Meadowcreek Business Center Addition being a 1.93-acre tract of land identified as Lots 1 & 2, Block 1, Meadowcreek Business Center Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 2325 S. Goliad Street [SH-205], and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	05/25/2023	Approved w/ Comments

05/25/2023: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 Consider a request by John Gardner of Kirkman Engineering on behalf of Jesus Sanchez of Victory Shops on 205, LLC for the approval of a Replat for Lots 3 & 4, Block 1, Meadowcreek Business Center Addition being a 1.93-acre tract of land identified as Lots 1 & 2, Block 1, Meadowcreek Business Center Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 2325 S. Goliad Street [SH-205].

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (P2023-014) in the lower right-hand corner of all pages on future submittals. (Subsection 10, of Chapter 38, City of Rockwall Municipal Code of Ordinances)

I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC) and Chapter 38 of the Municipal Code of Ordinances that are applicable to the subject property.

M.5 Please correct the title block to the following. (Subsection 10, of Chapter 38, City of Rockwall Municipal Code of Ordinances)

Final Plat
Lots 3 & 4, Block 1
Meadowcreek Business Center Phase 1 Addition
Being a Replat of
Lot 2, Block 1
Meadowcreek Business Center Phase 1 Addition
Being
2 Lots
1.931 Acres or 84,114.36 SF
Situated in the
J. Cadle Survey, Abstract No. 65

M.6 On the plat, correct the lot numbers to match the title block. (Subsection 10, of Chapter 38, City of Rockwall Municipal Code of Ordinances)

M.7 Please delineate the centerline for SH-205. (Subsection 10, of Chapter 38, City of Rockwall Municipal Code of Ordinances)

M.8 Please match the standard plat wording, storm drainage improvement statement, dedication language, public improvement statement, and the plat approval signatures with the new subdivision ordinance; Section 38-7, Subsections A.b, A.c, A.d, A.e, and C7. (Subsection 10, of Chapter 38, City of Rockwall Municipal Code of Ordinances)

I.9 Staff has identified the aforementioned items necessary to continue the submittal process. Please make all revisions and corrections and return to staff as soon as possible for a subsequent review prior approval. The Planning and Zoning Commission Meeting for this case will be held on May 30, 2023.

1.10 Staff recommends that a representative be present for all meetings.

1.11 The projected City Council Meeting date for this case will be June 5, 2023.

1.12 Please note that once the Replat has been approved by the Planning and Zoning Commission and City Council, the case will be considered to be conditionally approved pending all of staff's comments from all City Departments and any applicable conditions of approval contained in staff's case memo are addressed prior to the subdivision plat being filed.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	05/25/2023	Needs Review

05/25/2023: - Show and label 100 year flood plain with cross sections and cross section elevations minimum ever 300'. Additional 20' drainage easement needed outside of floodplain.

- Must tie two points to GPS. N: E:
- Need to show and label existing sanitary sewer easement.
- L13 minimum 20' wide
- Call out minimum FFE based on floodplain or detention pond 100-year WSEL, which ever is higher. FFE is minimum 2' above WSEL.
- Call out detention pond 100-year WSEL.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	05/22/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	05/23/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	05/23/2023	Approved w/ Comments

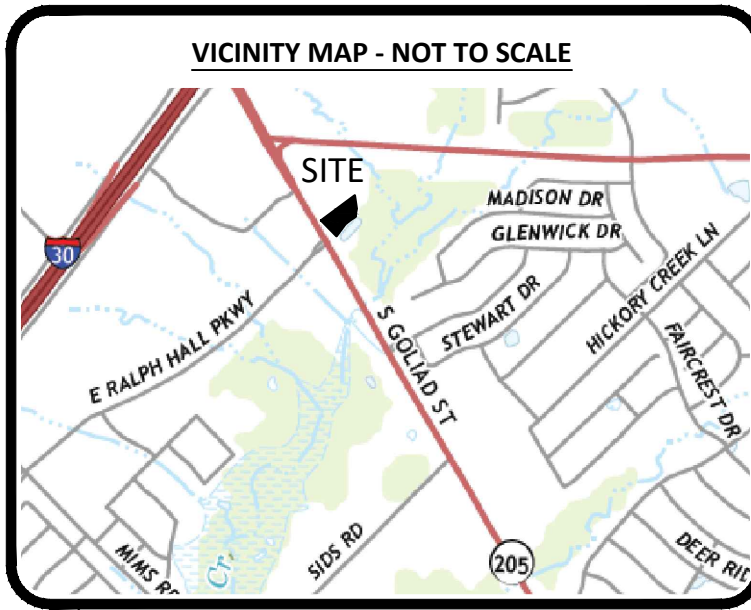
05/23/2023: Please tie two corners to the State Plane Coordinate System (NAD83, N Central TX 4202, Grid)

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	05/19/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	05/22/2023	Approved

No Comments



LEGEND OF ABBREVIATIONS

- D.R.R.C.T. DEED RECORDS, ROCKWALL COUNTY, TEXAS
- P.R.R.C.T. PLAT RECORDS, ROCKWALL COUNTY, TEXAS
- O.P.R.R.C.T. OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS
- DOC.# DOCUMENT NUMBER
- C.M. CONTROLLING MONUMENT
- SQ. FT. SQUARE FEET
- ROW RIGHT OF WAY
- CRS CAPPED REBAR SET

SURVEYOR'S NOTES:

- Bearings are based on the State Plane Coordinate System, Texas North Central Zone (4202) North American Datum of 1983 (NAD '83), distances are surface with a combined scale factor of 1.000146135.
- This property lies within Zone "X" & Zone "AE" of the Flood Insurance Rate Map for Rockwall County, Texas and Incorporated Areas, map no. 48397C0040L, with an effective date of September 26, 2008, via scaled map location and graphic plotting.
- Monuments are found unless specifically designated as set.
- Elevations (if shown) are North American Vertical Datum of 1988 (NAVD '88).

PLAT NOTES:

- It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.
- Property owner shall be responsible for maintaining, repairing, and replacing all systems within the drainage and detention easements.

ENGINEER



Kirkman Engineering, LLC
5200 State Highway 121
Colleyville, TX 76034
Phone: 817-488-4960
patrick.filson@trustke.com

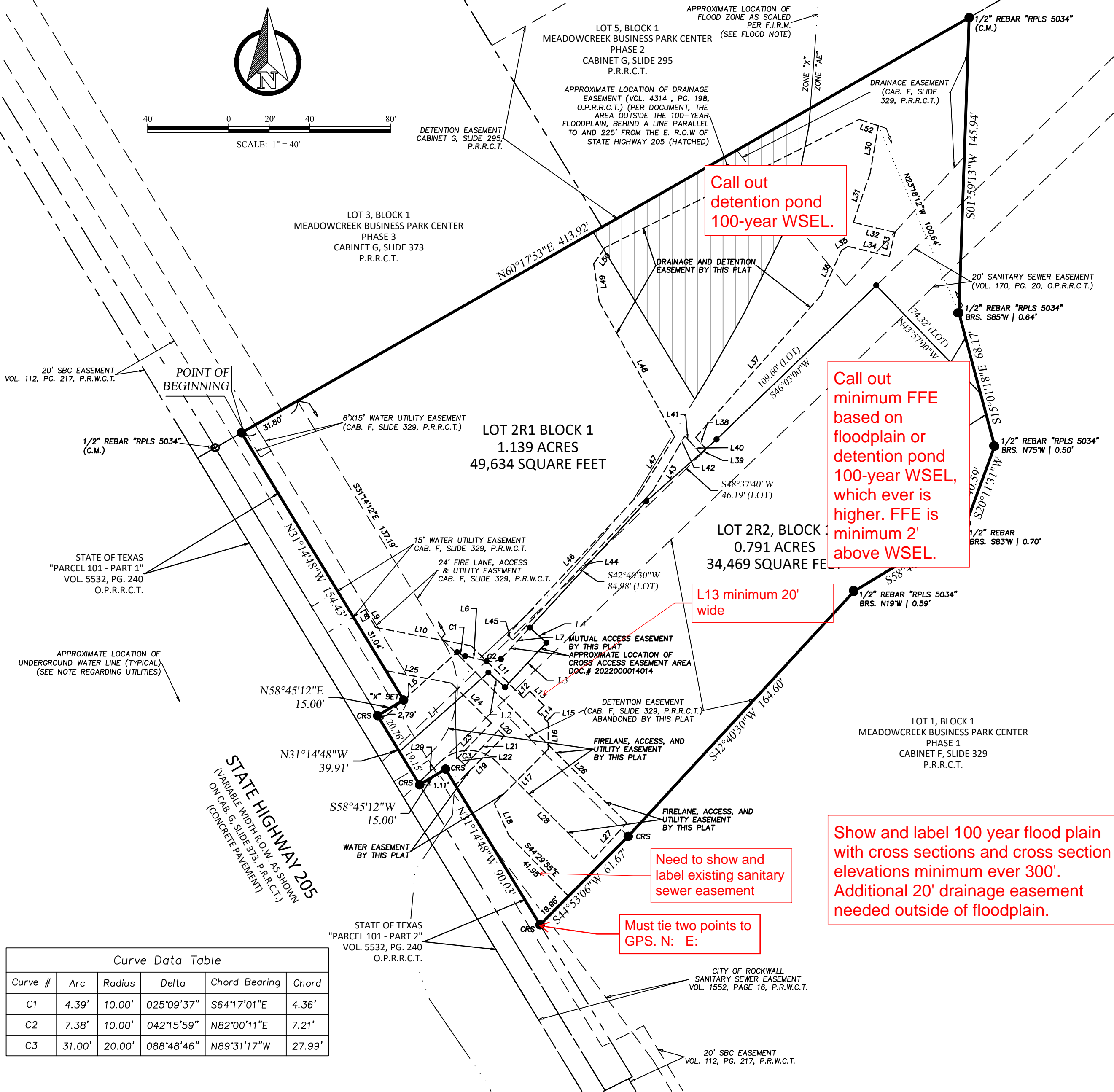
JOB NO. 2021.001.224

DRAWN: BCS

CHECKED: JHB

TABLE OF REVISIONS

DATE SUMMARY



Call out detention pond 100-year WSEL.

Call out minimum FFE based on floodplain or detention pond 100-year WSEL, which ever is higher. FFE is minimum 2' above WSEL.

L13 minimum 20' wide

Need to show and label existing sanitary sewer easement

Must tie two points to GPS. N: E:

Show and label 100 year flood plain with cross sections and cross section elevations minimum ever 300'. Additional 20' drainage easement needed outside of floodplain.

Line Data Table

Line #	Distance	Bearing
L1	58.78'	N48°21'22"E
L2	10.98'	N48°48'18"W
L3	30.04'	S42°44'56"W
L4	11.01'	S47°52'42"E
L5	50.71'	N48°13'36"E
L6	10.85'	S76°51'49"E
L7	21.06'	N42°40'30"E
L8	6.82'	N58°45'48"E
L9	10.26'	S31°14'12"E
L10	47.95'	S79°11'17"E
L11	36.40'	S45°06'54"E
L12	4.52'	N44°53'06"E
L13	10.00'	S45°06'54"E
L14	4.52'	S44°53'06"W
L15	7.28'	S45°06'54"E
L16	13.29'	S00°06'54"E
L17	37.73'	S44°53'06"W
L18	17.49'	S24°35'25"E
L19	34.33'	S44°53'06"W
L20	4.10'	S45°06'54"E

Line Data Table

Line #	Distance	Bearing
L21	23.90'	N43°48'48"E
L22	5.00'	S46°11'12"E
L23	23.99'	S43°48'48"W
L24	27.85'	S45°06'54"E
L25	32.96'	S79°11'17"E
L26	129.32'	S45°06'54"E
L27	24.02'	S42°40'30"W
L28	67.59'	N45°06'54"W
L29	15.04'	S46°04'20"W

Curve Data Table

Curve #	Arc	Radius	Delta	Chord Bearing	Chord
C1	4.39'	10.00'	025°09'37"	S64°17'01"E	4.36'
C2	7.38'	10.00'	042°15'59"	N82°00'11"E	7.21'
C3	31.00'	20.00'	088°48'46"	N89°31'17"W	27.99'

FINAL PLAT
LOTS 2R1 AND 2R2, BLOCK 1
MEADOWCREEK BUSINESS CENTER PHASE I
BEING A REPLAT OF LOT 2, BLOCK 1, MEADOWCREEK BUSINESS CENTER PHASE I 2 LOTS - 1.931 ACRES IN THE J. CADLE SURVEY, ABSTRACT NO. 65 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SHEET:

1 OF 2

CITY CASE#P2022-XXX



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 2325 S Goliad Street

SUBDIVISION Meadowcreek Business Park Center

LOT 2 BLOCK 1

GENERAL LOCATION The intersection of S Goliad Street and Ralph Hall Parkway

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING C-Commercial-SUP

CURRENT USE Undeveloped

PROPOSED ZONING N/A

PROPOSED USE Multi Tenant Retail / Restaurant with DT

ACREAGE 1.93 ac

LOTS [CURRENT] 1

LOTS [PROPOSED] 2

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Victory Shops on 205, LLC

APPLICANT Kirkman Engineering

CONTACT PERSON Jesus Sanchez

CONTACT PERSON John Gardner

ADDRESS 2911 Turtle Creek Blvd. #700

ADDRESS 5200 State Highway 121

CITY, STATE & ZIP Dallas, Texas 75219

CITY, STATE & ZIP Colleyville, TX 76034

PHONE 972-707-9555

PHONE 817-488-4960

E-MAIL jesus@vg-re.com

E-MAIL john.gardner@trustke.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Tony Ramji [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 340.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 18th DAY OF May, 2023. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION. IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 18th DAY OF May, 2023.

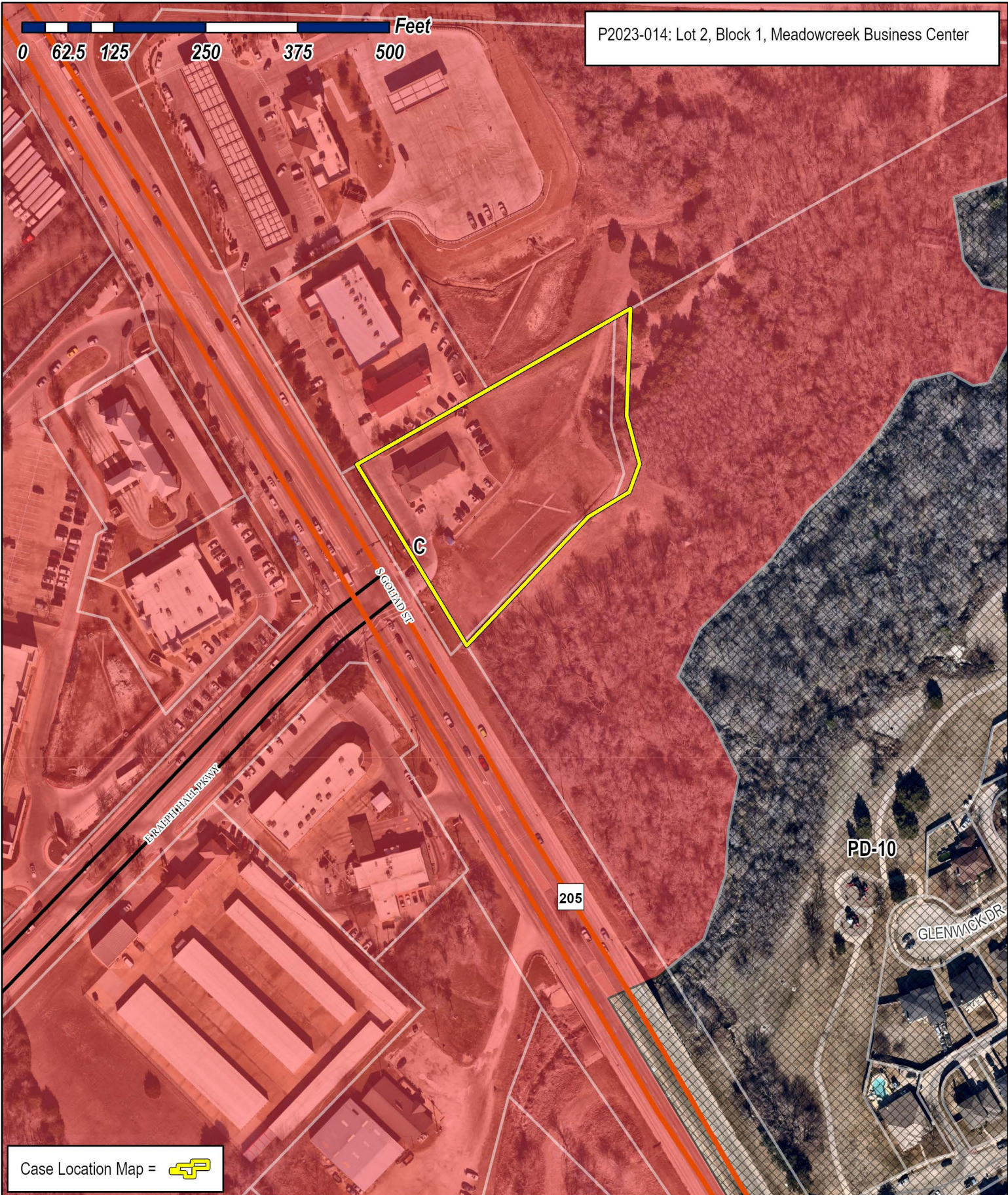
OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS




MY COMMISSION EXPIRES

10/09/2024



P2023-014: Lot 2, Block 1, Meadowcreek Business Center

Case Location Map = 

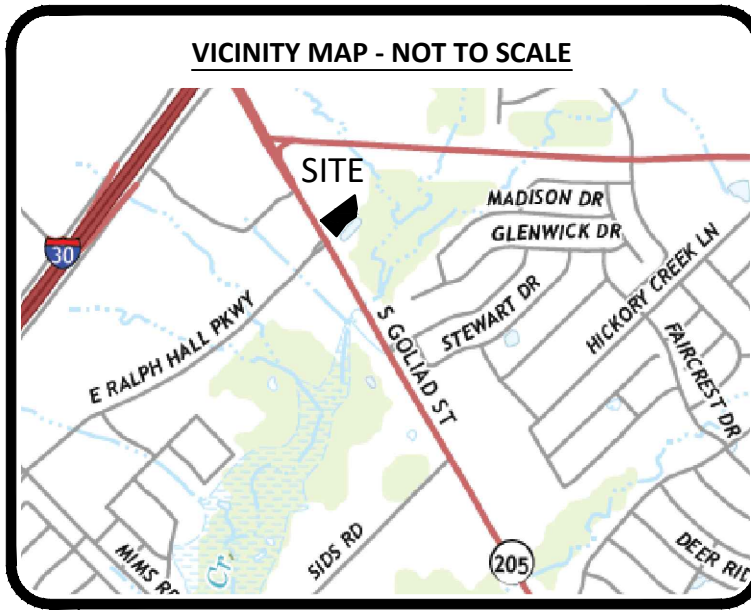


City of Rockwall

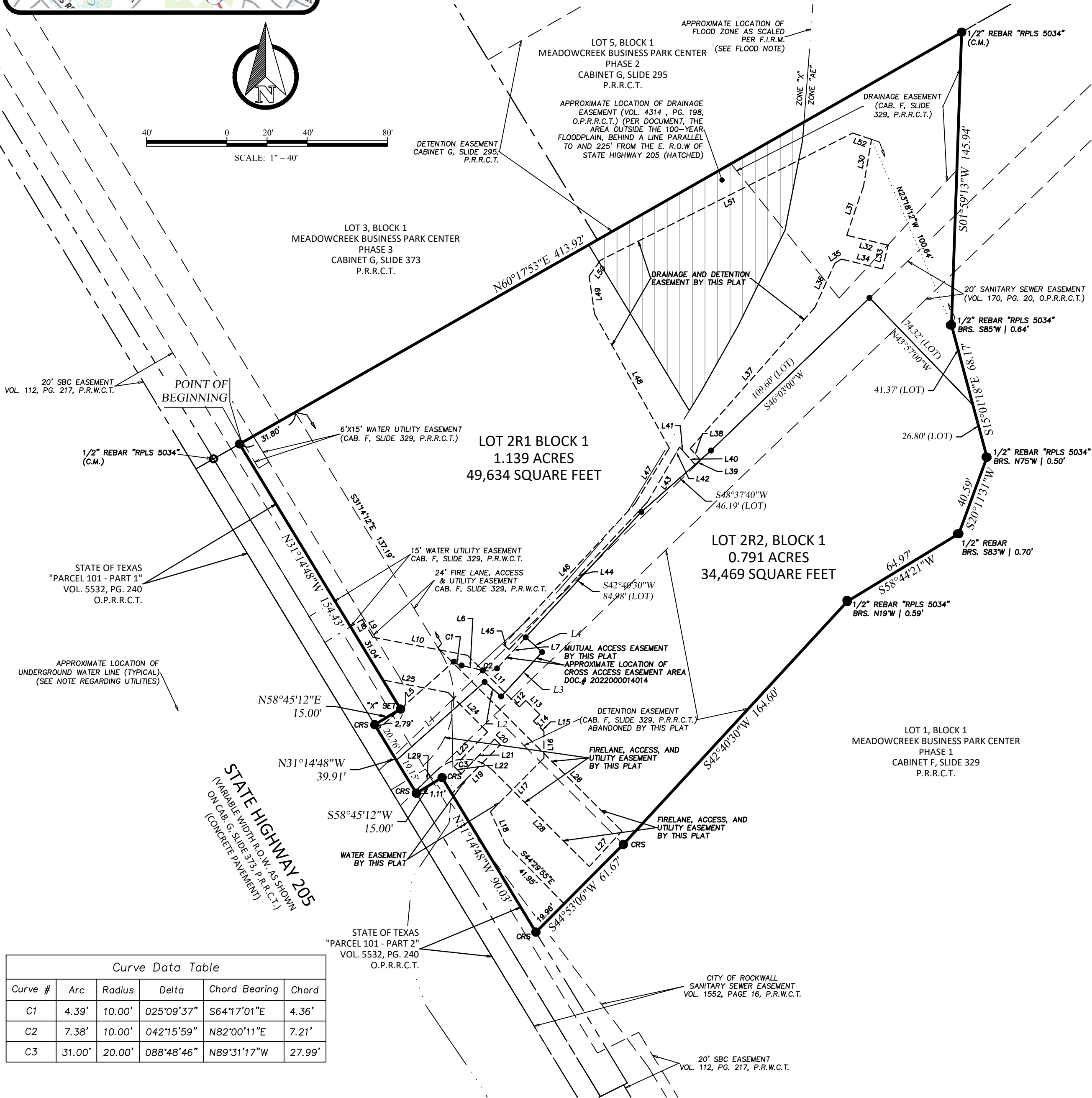
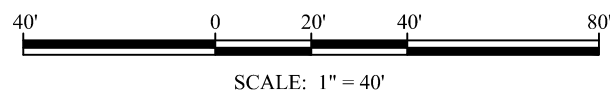
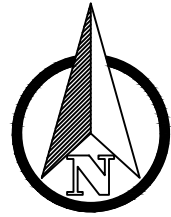
Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





- LEGEND OF ABBREVIATIONS**
- D.R.R.C.T. DEED RECORDS, ROCKWALL COUNTY, TEXAS
 - P.R.R.C.T. PLAT RECORDS, ROCKWALL COUNTY, TEXAS
 - O.P.R.R.C.T. OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS
 - DOC.# DOCUMENT NUMBER
 - C.M. CONTROLLING MONUMENT
 - SQ. FT. SQUARE FEET
 - ROW RIGHT OF WAY
 - CRS CAPPED REBAR SET



SURVEYOR'S NOTES:

- Bearings are based on the State Plane Coordinate System, Texas North Central Zone (4202) North American Datum of 1983 (NAD '83), distances are surface with a combined scale factor of 1.000146135.
- This property lies within Zone "X" & Zone "AE" of the Flood Insurance Rate Map for Rockwall County, Texas and Incorporated Areas, map no. 48397C0040L, with an effective date of September 26, 2008, via scaled map location and graphic plotting.
- Monuments are found unless specifically designated as set.
- Elevations (if shown) are North American Vertical Datum of 1988 (NAVD '88).

PLAT NOTES:

- It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.
- Property owner shall be responsible for maintaining, repairing, and replacing all systems within the drainage and detention easements.

Line #	Distance	Bearing
L1	58.78'	N48°21'22"E
L2	10.98'	N48°48'18"W
L3	30.04'	S42°44'56"W
L4	11.01'	S47°52'42"E
L5	50.71'	N48°13'36"E
L6	10.85'	S76°51'49"E
L7	21.06'	N42°40'30"E
L8	6.82'	N58°45'48"E
L9	10.26'	S31°14'12"E
L10	47.95'	S79°11'17"E
L11	36.40'	S45°06'54"E
L12	4.52'	N44°53'06"E
L13	10.00'	S45°06'54"E
L14	4.52'	S44°53'06"W
L15	7.28'	S45°06'54"E
L16	13.29'	S00°06'54"E
L17	37.73'	S44°53'06"W
L18	17.49'	S24°35'25"E
L19	34.33'	S44°53'06"W
L20	4.10'	S45°06'54"E

Line #	Distance	Bearing
L21	23.90'	N43°48'48"E
L22	5.00'	S46°11'12"E
L23	23.99'	S43°48'48"W
L24	27.85'	S45°06'54"E
L25	32.96'	S79°11'17"E
L26	129.32'	S45°06'54"E
L27	24.02'	S42°40'30"W
L28	67.59'	N45°06'54"W
L29	15.04'	S46°04'20"W

Curve #	Arc	Radius	Delta	Chord Bearing	Chord
C1	4.39'	10.00'	025°09'37"	S64°17'01"E	4.36'
C2	7.38'	10.00'	042°15'59"	N82°00'11"E	7.21'
C3	31.00'	20.00'	088°48'46"	N89°31'17"W	27.99'

ENGINEER

Kirkman Engineering, LLC
5200 State Highway 121
Colleyville, TX 76034
Phone: 817-488-4960
patrick.filson@trustke.com

JOB NO.	2021.001.224
DRAWN:	BCS
CHECKED:	JHB
TABLE OF REVISIONS	
DATE	SUMMARY

SURVEYOR
BARTON CHAPA SURVEYING, LLC
JOHN H. BARTON, III RPLS# 6737
5200 STATE HIGHWAY 121
COLLEYVILLE, TX 76034
(817) 864-1957
JACK@BCSDFW.COM

OWNER
VICTORY SHOPS ON 205, LLC
2911 TURTLE CREEK BLVD. #700
DALLAS, TX 75219
PH. 972.707.9555

OWNER
BARBARA AND MARLYN ROBERTS
323 JULIAN DRIVE
ROCKWALL, TX 75087
PH. 972.707.9555

FINAL PLAT
LOTS 2R1 AND 2R2, BLOCK 1
MEADOWCREEK BUSINESS CENTER PHASE I
BEING A REPLAT OF LOT 2, BLOCK 1, MEADOWCREEK BUSINESS CENTER PHASE I 2 LOTS - 1.931 ACRES IN THE J. CADLE SURVEY, ABSTRACT NO. 65 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

STATE OF TEXAS §
COUNTY OF ROCKWALL §

WHEREAS VICTORY SHOPS ON 205, LLC, BARBARA ROBERTS, AND MARLYN ROBERTS are the owners of a tract situated in the J. Cadle Survey, Abstract No. 65 part of Lot 2, Block 1, Meadowcreek Business Park Center, an addition in the City of Rockwall, Rockwall County, Texas, according to the plat recorded in Cabinet F, Slide 329, Plat Records, Rockwall County, Texas, the subject tract being more particularly described as follows (bearings are based on the State Plane Coordinate System, Texas North Central Zone (4202), North American Datum of 1983 (NAD '83)):

BEGINNING at a point in the north line of said Lot 2, same being the northeast corner of the tract described in the deed to the State of Texas, recorded in Volume 5532, Page 240, Official Public Records, Rockwall County, Texas, from which a 1/2 inch rebar with cap stamped "RPLS 5034" found at the northwest corner of said Lot 2 bears SOUTH 60 degrees 17 minutes 53 seconds WEST, 15.01 feet;

THENCE with the perimeter and to the corners of said Lot 2, the following calls:

1. NORTH 60 degrees 17 minutes 53 seconds EAST, a distance of 413.92 feet to a 1/2 inch rebar with cap stamped "RPLS 5034"
2. SOUTH 01 degree 59 minutes 13 seconds WEST, a distance of 145.94 feet to a point from which a 1/2 inch rebar with cap stamped "RPLS 5034" (disturbed) bears SOUTH 85 degrees WEST, 0.64 feet;
3. SOUTH 15 degrees 01 minute 18 seconds EAST, a distance of 68.17 feet to a point from which a 1/2 inch rebar with cap stamped, "RPLS 5034" found bears NORTH 75 degrees West, 0.50 feet;
4. SOUTH 20 degrees 11 minutes 31 seconds WEST, a distance of 40.59 feet to a point from which a 1/2 inch rebar with cap stamped, "RPLS 5034" found bears SOUTH 83 degrees WEST, a distance of 0.70 feet;
5. SOUTH 58 degrees 44 minutes 21 seconds WEST, a distance of 64.97 feet to a point from which a 1/2 inch rebar with cap stamped, "RPLS 5034" found bears NORTH 19 degrees West, a distance of 0.59 feet;
6. SOUTH 42 degrees 40 minutes 30 seconds WEST, a distance of 164.60 feet to a 1/2 inch rebar with cap stamped "BARTON CHAPA" set (hereinafter "capped rebar set");
7. SOUTH 44 degrees 53 minutes 06 seconds WEST, a distance of 61.67 feet to a capped rebar set in the NORTH line of "Parcel 101 - Part 2" described by deed to the State of Texas as recorded under Volume 5532, Page 240, Official Public Records, Rockwall County, Texas, (O.P.R.R.C.T.);

THENCE NORTH 31 degrees 14 minutes 48 seconds WEST, with the east line of said "Pacel 101 - Part 2", a distance of 90.03 feet to a capped rebar set at the northeast corner thereof;

THENCE SOUTH 58 degrees 45 minutes 12 seconds WEST, with the west line of said "Parcel 101 - Part 2", a distance of 15.00 feet to a capped rebar set for the northwest corner thereof, same being in the west line of said Lot 2;

THENCE NORTH 31 degrees 14 minutes 48 seconds WEST, with the west line of said Lot 2, a distance of 39.91 feet to a capped rebar set at the southwest corner of said State of Texas (Vol. 5532, Pg. 240) tract;

THENCE with the south line of said State of Texas tract, through the interior of said Lot 2, NORTH 58 degrees 45 minutes 12 seconds EAST a distance of 15.00 feet to an "X" cut set in a concrete driveway;

THENCE with the east line of said State of Texas tract, through the interior of said Lot 2, NORTH 31 degrees 14 minutes 48 seconds WEST, a distance of 154.43 feet, returning to the **POINT OF BEGINNING** and enclosing 1.931 acres (84,103 square feet) of land, more or less.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

Victory Shops on 205, LLC, (the undersigned owner of the land shown on this plat and designated as Lot 2R2, Block 1), and Barbara Roberts and Marlyn Roberts (the undersigned owners of the land shown on this plat and designated as Lot 2R1, Block 1), and designated herein as the **LOTS 2R1 AND 2R2, BLOCK 1, MEADOWCREEK BUSINESS CENTER PHASE I**, subdivision in the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I (we) further certify that all other parties who have a mortgage or lien interest in the **LOTS 2R1 AND 2R2, BLOCK 1, MEADOWCREEK BUSINESS CENTER PHASE I** subdivision have been notified and signed this plat. I (we) understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I (we) also understand the following;

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.

3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.

4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.

5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.

6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall. I (we) further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I (we), my (our) successors and assigns hereby waive any claim, damage, or cause of action that I (we) may have as a result of the dedication of exactions made herein.

VICTORY SHOPS ON 205, LLC (authorized agent)

STATE OF TEXAS §
COUNTY OF _____§

BEFORE ME, the undersigned, a Notary Public in and for the State of Texas, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same as for the purpose and consideration therein expressed, and in the capacity therein stated.

Notary Public in and for
the State of Texas

BARBARA ROBERTS
STATE OF TEXAS §
COUNTY OF _____§

BEFORE ME, the undersigned, a Notary Public in and for the State of Texas, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same as for the purpose and consideration therein expressed, and in the capacity therein stated.

Notary Public in and for
the State of Texas

MARLYN ROBERTS
STATE OF TEXAS §
COUNTY OF _____§

BEFORE ME, the undersigned, a Notary Public in and for the State of Texas, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same as for the purpose and consideration therein expressed, and in the capacity therein stated.

Notary Public in and for
the State of Texas

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

SURVEYOR'S CERTIFICATE

I, John H. Barton III, a Registered Professional Land Surveyor of the State of Texas, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

Date of Plat/Map: **May 16, 2023**

John H. Barton III, RPLS# 6737

Planning & Zoning Commission, Chairman Date

APPROVED:
I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Planning Director of the City of Rockwall on the _____ day of _____, 20_____. This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this ____ day of _____, 20_____.

Mayor, City of Rockwall

City Secretary

City Engineer

ENGINEER



Kirkman Engineering, LLC
5200 State Highway 121
Colleyville, TX 76034
Phone: 817-488-4960
patrick.filson@trustke.com

JOB NO. 2021.001.224
DRAWN: BCS
CHECKED: JHB

TABLE OF REVISIONS

DATE SUMMARY

SURVEYOR
BARTON CHAPA SURVEYING, LLC
JOHN H. BARTON, III RPLS# 6737
5200 STATE HIGHWAY 121
COLLEYVILLE, TX 76034
(817) 864-1957
JACK@BCSDFW.COM

OWNER
VICTORY SHOPS ON 205, LLC
2911 TURTLE CREEK BLVD. #700
DALLAS, TX 75219
PH. 972.707.9555

OWNER
BARBARA AND MARLYN ROBERTS
323 JULIAN DRIVE
ROCKWALL, TX 75087
PH. 972.707.9555

**FINAL PLAT
LOTS 2R1 AND
2R2, BLOCK 1
MEADOWCREEK
BUSINESS
CENTER PHASE I**
BEING A REPLAT OF LOT 2,
BLOCK 1, MEADOWCREEK
BUSINESS CENTER PHASE I
2 LOTS - 1.931 ACRES
IN THE J. CADLE SURVEY,
ABSTRACT NO. 65
CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS

SHEET:

2 OF 2

CITY CASE#P2022-XXX



CITY OF ROCKWALL
PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT
385 S. GOLIAD STREET • ROCKWALL, TX 75087
PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: May 30, 2023
APPLICANT: David Srovji
CASE NUMBER: SP2023-017; *Site Plan for Center for Peace and Mercy*

SUMMARY

Discuss and consider a request by David Srovji on behalf of Abdul Latif Khan of Center for Peace and Mercy, Inc. for the approval of a Site Plan for a *retail shopping center* and *house of worship* on a 2.681-acre tract of land identified as Tract 10-1 & 22 of the E. P. G. Chisum Survey, Abstract No. 64, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, located on the north side of Turtle Cove Boulevard north of the intersection of Turtle Cove Boulevard and Ridge Road [FM-740], and take any action necessary.

BACKGROUND

The subject property was annexed on November 7, 1960 by *Ordinance No. 60-04 [Case No. A1960-004]*. At the time of annexation, it was zoned Agricultural (AG) District. According to the City's Historic Zoning Maps, sometime between November 7, 1960 and January 3, 1972, the subject property was rezoned to Commercial (C) District and has remained vacant since annexation. On June 25, 2019, the Planning and Zoning Commission approved a Site Plan [Case No. SP2019-014] for a *retail shopping center* and *house of worship*. On July 15, 2019, the City Council approved a variance request associated with the approved site plan [Case No. SP2019-014] for a flat roof design within the Scenic Overlay (SOV) District. This site plan expired on July 15, 2021 due to two (2) years of inactivity on the site. The engineering plans [Case No. E2020-013] also expired August 25, 2022 as no work had been completed by the applicant in a year of engineering approval. This prompted the applicant to resubmit the proposed site plan on April 14, 2023.

PURPOSE

On April 14, 2023, the applicant -- *David Srovji* -- submitted an application requesting the approval of a Site Plan for a *retail shopping center* and *house of worship*.

ADJACENT LAND USES AND ACCESS

The subject property is generally located on the north side of Turtle Cove Boulevard, north of the intersection of Turtle Cove Boulevard and Ridge Road [FM-740]. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a 100-foot railroad right-of-way owned by the *Union Pacific/Dallas Garland NE Railroad*. Beyond this is a single-family residential subdivision (*i.e. Turtle Cove Subdivision*), that is zoned Planned Development District 2 (PD-2) for single-family residential land uses. Beyond this is a single-family residential subdivision (*i.e. Lakeridge Subdivision*), that is zoned Single-Family 10 (SF-10) District.

South: Directly south of the subject property are two (2) office buildings followed by Turtle Cove Boulevard, which is identified as a R2 (*residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan. Beyond this is a vacant tract of land (*i.e. Lot 5, Block A, MTA Andrews Addition*). South of this is an office building situated on a 6.424-acre parcel of land (*i.e. Lot 4, Block A, MTA Andrews Addition*). These areas are zoned Commercial (C) District.

East: Directly east of the subject property is a house of worship (i.e. *Great Faith Church*) followed by a restaurant with drive-through (i.e. *Dutch Bros. Coffee*). Beyond this is Ridge Road [FM-740], which is identified as a M4D (major collector, four [4] lane, divided roadway) on the City’s Master Thoroughfare Plan. East of this roadway is an office park (i.e. *Lakewood Office Park Condos*) and several other office land uses that are zoned Commercial (C) District.

West: Directly west of the subject property is a 100-foot railroad right-of-way owned by the *Union Pacific/Dallas Garland NE Railroad*. Beyond this is a single-family residential subdivision (i.e. *Turtle Cove Subdivision*). These areas are zoned Planned Development District 2 (PD-2) for single-family detached land uses. Beyond this are the corporate boundaries of the City of Rockwall followed by Lake Ray Hubbard, which is situated in the City of Dallas.

DENSITY AND DIMENSIONAL REQUIREMENTS

According to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), a *retail shopping center* and a *house of worship* were permitted *by-right* land uses when *Case No. SP2019-014* was originally approved. Since this time, the Unified Development Code (UDC) was changed to require a Specific Use Permit (SUP) for a *house of worship* in a Commercial (C) District; however, the project would be considered to be vested to the land uses that were in place when the original site plan application was submitted. The submitted site plan generally conforms to the technical requirements contained within the Unified Development Code (UDC) for a property. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	10,000 SF	X= 2.681-Acres; <i>In Conformance</i>
<i>Minimum Lot Frontage</i>	60-Feet	X= 144.59-feet; <i>In Conformance</i>
<i>Minimum Lot Depth</i>	100-Feet	X=459.52-feet; <i>In Conformance</i>
<i>Minimum Front Yard Setback</i>	15-Feet	X>15-feet; <i>In Conformance</i>
<i>Minimum Rear Yard Setback</i>	10-Feet	X>10-feet; <i>In Conformance</i>
<i>Minimum Side Yard Setback</i>	10-Feet	X=10'; <i>In Conformance</i>
<i>Maximum Building Height</i>	60-Feet	X=22-feet; <i>In Conformance</i>
<i>Max Building/Lot Coverage</i>	60%	X=25.88%; <i>In Conformance</i>
<i>Minimum Number of Parking Spaces</i>	<i>Retail: 1/250 = 10 parking spaces House of Worship: 1/4 Seats = 34 Parking Spaces Total: 44 Parking Spaces Required</i>	X=51; <i>In Conformance</i>
<i>Minimum Landscaping Percentage</i>	20%	X=21%; <i>In Conformance</i>
<i>Maximum Impervious Coverage</i>	85-90%	X<85%; <i>In Conformance</i>

CONFORMANCE WITH THE CITY’S CODES

According to Subsection 02.02(F)(15), *General Retail Store*, of Article 13, *Definitions*, of the Unified Development Code (UDC) a general retail store is defined as “(a) facility or area for the retail sale of general merchandise or food to the public for direct consumption and not for wholesale. Typical general merchandise includes clothing and other apparel; equipment for hobbies and sports; gifts; flowers and household plants; dry goods; groceries, convenience, and specialty foods; toys; furniture; books and stationary; pets; drugs; hardware; and similar consumer goods.” According to Subsection 02.02(C)(4), *Church/House of Worship*, of Article 13, *Definitions*, of the Unified Development Code (UDC), a *church/house of worship* is defined as “(a) facility or area where people gather together for public worship, religious training, or other religious activities including a church, temple, mosque, synagogue, convent, monastery, or other structure, together with its accessory structures, including a parsonage or rectory. This use does not include home meetings or other religious activities conducted in a privately occupied residence.” In this case, the applicant is requesting a *retail shopping center*, which is permitted *by-right* according to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC). The applicant is also requesting a *church/house of worship* which is permitted by Specific Use Permit in a Commercial (C) District; however, since this project was vested in 2019 prior to the text amendment being approved by *Ordinance No. 19-32 [Case No. Z2019-*

016], and the use has not changed from the original site plan, this use is considered to be vested to the original land use regulations prior to the text amendment being approved in 2019. These requirements listed *church/house of worship* as a permitted *by right* land use in a Commercial (C) District.

VARIANCE BY THE APPLICANT

As stated above, the applicant's request conforms to the majority of the City's codes; however, staff has identified the following variances:

Variances:

(1) Architectural Standards.

- (a) Four-Sided Architecture. According to Subsection 06.02(C)(5), of Article 05, of the *General Overlay District Development Standards* of the Unified Development Code (UDC), "(a)ll buildings shall be architecturally finished on all four (4) sides utilizing the same materials, detailing, articulation and features. In addition, a minimum of one (1) row of trees (i.e. four [4] or more accent or canopy trees) shall be planted along perimeter of the subject property to the rear of the building." In this case, the proposed buildings are not architecturally finished on all four (4) sides and this is not a row of trees planted along the perimeter of the subject property. This will require a *variance* from the Planning and Zoning Commission pending a recommendation from the Architectural Review Board (ARB).
- (b) Roof Design Standards. According to Article 05, *General Overlay District Development Standards*, of the *Unified Development Code (UDC)*, "(a)ll structures that have a building footprint of less than 6,000 SF shall be constructed with a pitched roof. Those structures having a footprint 6,000 SF or greater shall have the option of being constructed with either a pitched, parapet, or mansard roof system as long as the roof system is enclosed on all sides. Standing seam metal roofs shall be constructed of a factory-treated, non-metallic, matte finish to avoid glare. Metal roofs with lapped seam construction, bituminous built-up roofs, and/or flat membrane type roofs that are visible from adjacent public right-of-way shall be prohibited." In this case, the proposed building does not meet this standard. This will require a *variance* from the Planning and Zoning Commission pending a recommendation from the Architectural Review Board (ARB).
- (c) Parking. According to Article 05, *General Overlay District Development Standards*, of the Unified Development Code (UDC), "(p)arking should not be located between the front façade and the property line." In this case, the applicant is showing five (5) parking spaces being located between the front façade and the front property line. Staff should note that there does not appear to be a hardship preventing the applicant from meeting the requirements of the ordinance for this variance request, and that these parking spaces could be moved elsewhere on the site.

According to Subsection 09, *Exceptions and Variances*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), an applicant may request the Planning and Zoning Commission grant exceptions and variances to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code (UDC) would create an undue hardship. In addition, the code requires that applicants provide compensatory measures that directly offset the requested exceptions and variances. In this case, as compensatory measures, the applicant is proposing: [1] additional shrubbery along the north and west property lines. Requests for exceptions and variances are discretionary decisions for the Planning and Zoning Commission. Staff should note that a supermajority vote (e.g. six [6] out of the seven [7] commissioners) -- with a minimum of four (4) votes in the affirmative -- is required for the approval of an exception.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

The Future Land Use Plan adopted with the OURHometown Vision 2040 Comprehensive Plan identifies the subject property as being situated in the South Lakeshore District and is designated for Commercial/Retail land uses. According to the plan, the South Lakeshore District "...is characterized by single to multi-tenant commercial retail centers along major arterials at key intersections." The primary land uses in the Commercial/Retail designation include Commercial Retail Buildings, Restaurants/Brew Pubs, Multi-tenant Commercial Centers, Neighborhood Centers and Convenience Centers. In this case, the

applicant is requesting approval of a site plan for a *Retail Shopping Center* and *House of Worship*. Based on this, the applicant's request appears to conform to the goals and policies of the OURHometown Vision 2040 Comprehensive Plan.

ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION

On April 25, 2023, the Architecture Review Board reviewed the proposed building elevations provided by the applicant on April 14, 2023 and recommended that the applicant provide staff with a material sample board, finish the parapets on the backside, extend the parapets back 8.5-feet, and bring the parapet up to the middle column height on the east elevation. The applicant has provided updated elevations that will be reviewed by the Architectural Review Board (ARB) prior to the May 30, 2023 Planning and Zoning Commission meeting.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve the applicant's Site Plan for the establishment of a *retail shopping center* and *house of worship* on the *subject property*, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans.
- (2) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

SP2023-017

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 600 TURTLE COVE ROCKWALL TX 75087

SUBDIVISION _____ LOT _____ BLOCK _____

GENERAL LOCATION _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING _____ CURRENT USE EMPTV

PROPOSED ZONING _____ PROPOSED USE COMMERCIAL

ACREAGE 2.6 LOTS [CURRENT] _____ LOTS [PROPOSED] _____

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	<u>ABDUL LATIF KHAN</u>	<input type="checkbox"/> APPLICANT	
CONTACT PERSON		CONTACT PERSON	<u>DAVID SROUSI</u>
ADDRESS	<u>5411 KINGSTON DR.</u>	ADDRESS	<u>755 VALLEGO DR</u>
CITY, STATE & ZIP	<u>RICHARDSON TX. 75082</u>	CITY, STATE & ZIP	<u>ROCKWALL TX 75087</u>
PHONE	<u>469-870-6020</u>	PHONE	<u>469-456-5935</u>
E-MAIL	<u>hafgab@hotmail.com</u>	E-MAIL	<u>DAVID.SROUSI960@GMAIL.COM</u>

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED David Srousi [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

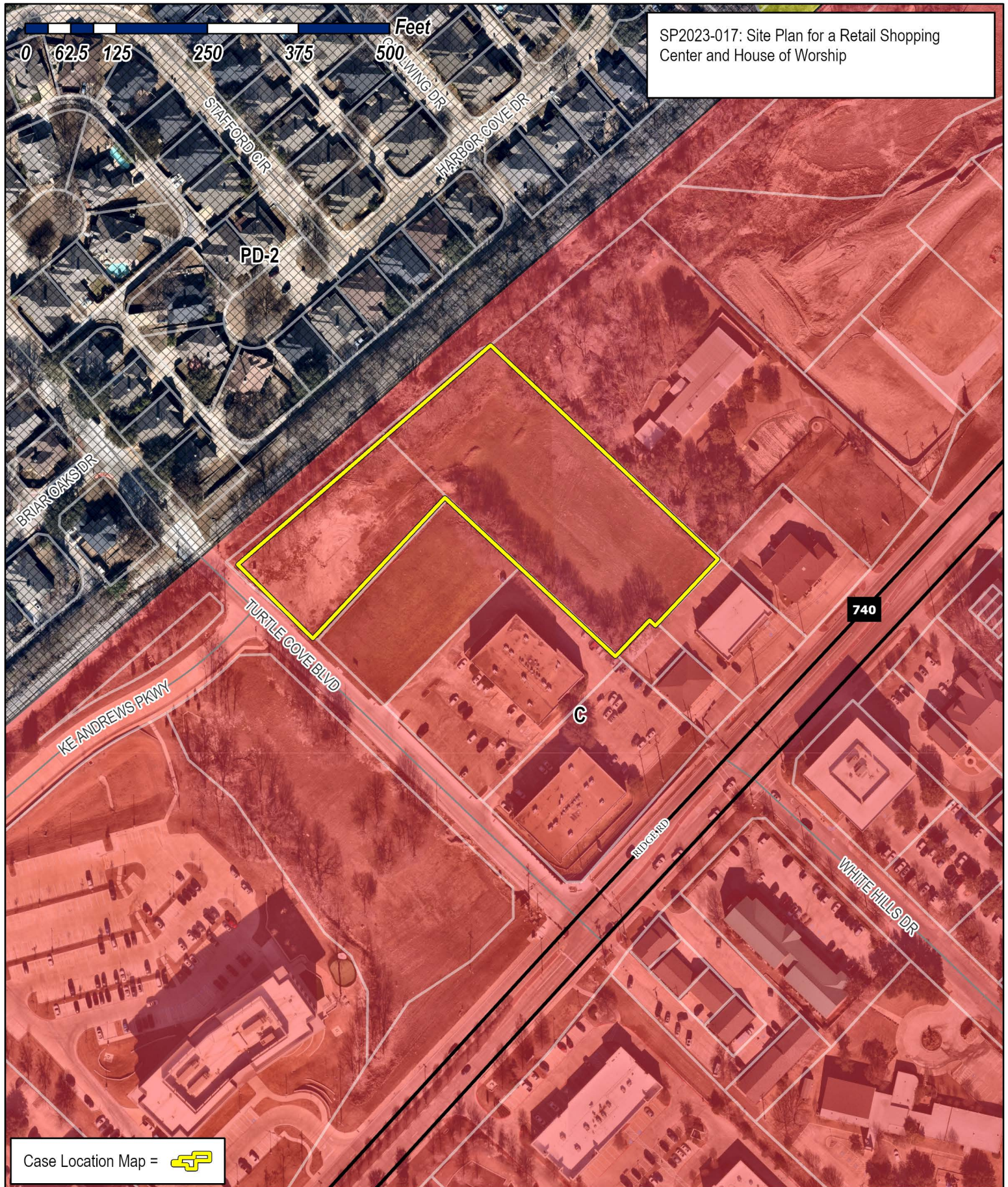
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 250.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 10 DAY OF April, 2023. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 10 DAY OF April, 2023


OWNER'S SIGNATURE _____

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS _____





SP2023-017: Site Plan for a Retail Shopping Center and House of Worship

Case Location Map = 

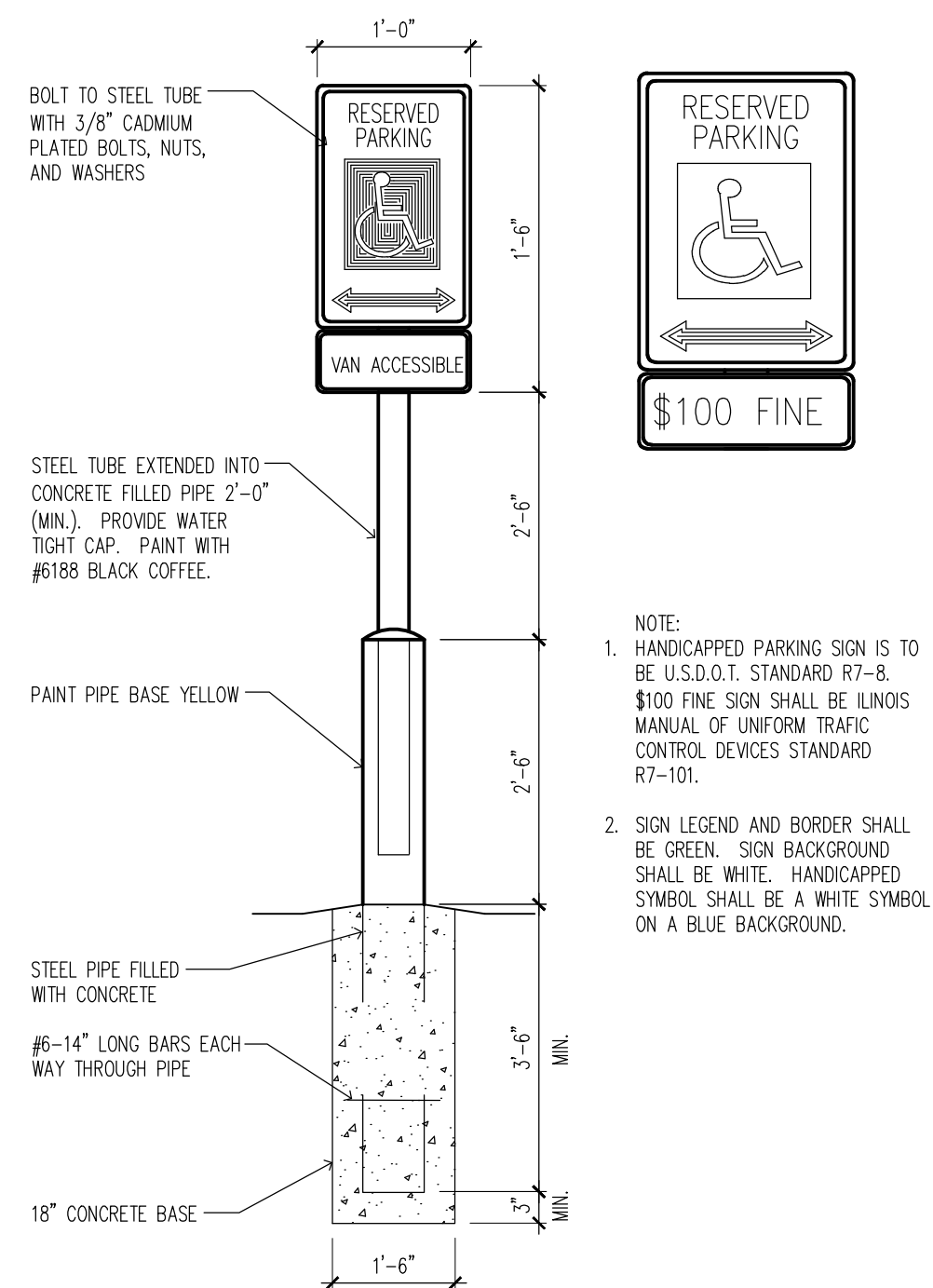


City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

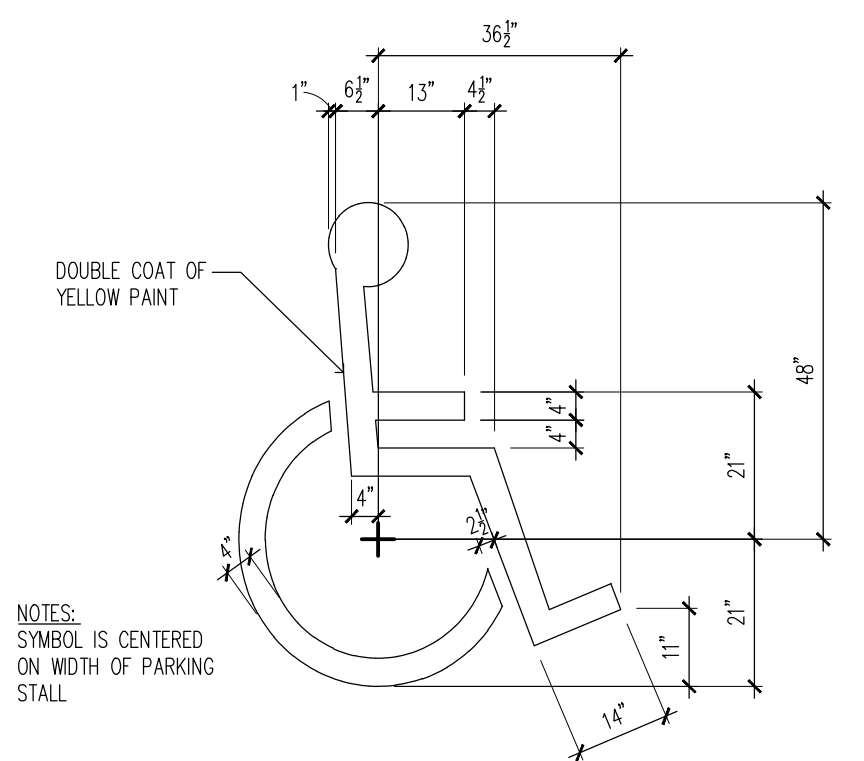
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



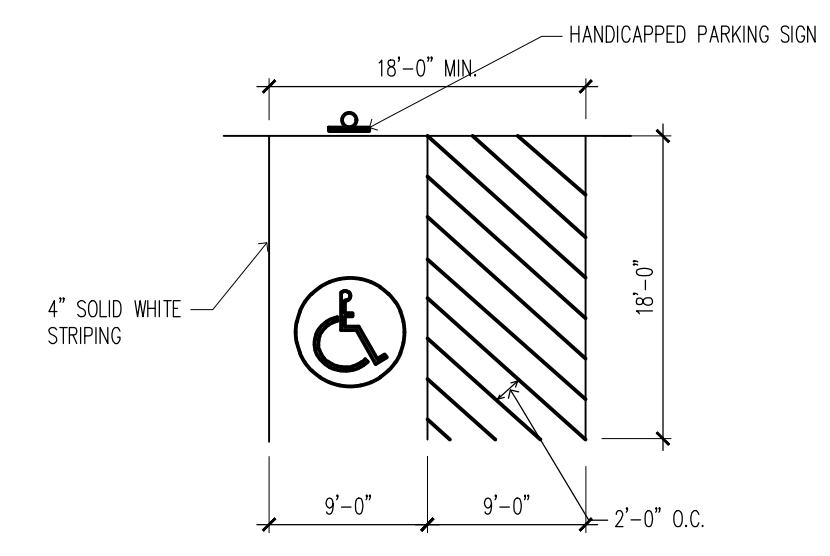


05 HANDICAP PARKING SIGN
N.T.S.

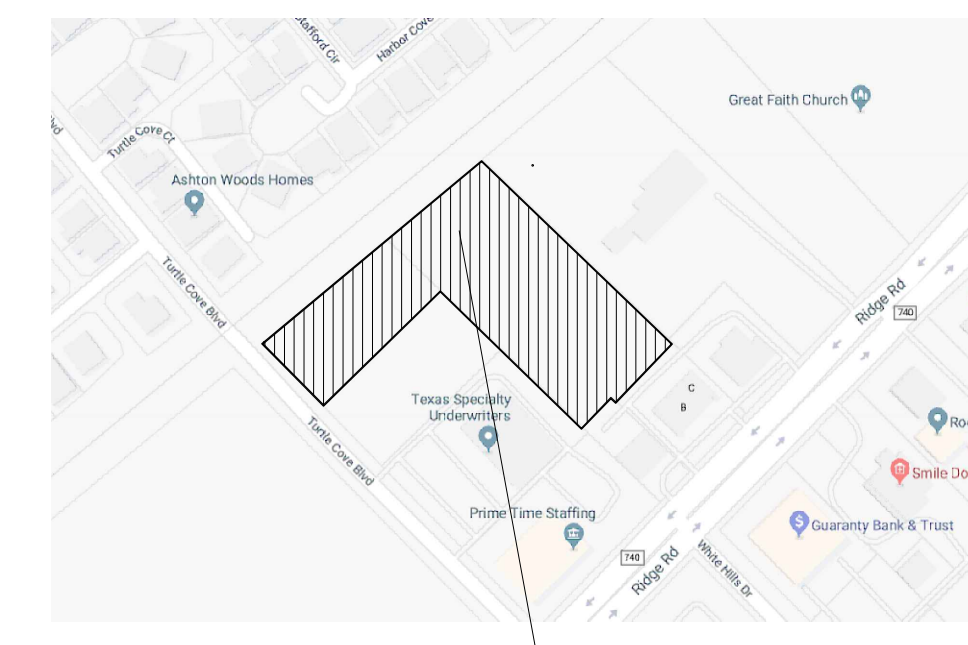
NOTE: ALL HANDICAPPED PARKING SYMBOL, SIZES, COLOR & STANDARD TO MATCH WITH LATEST TEXAS ADA STANDARD & FEDERAL ADAAG STANDARD.



04 HANDICAPPED PAINTED SYMBOL
N.T.S.



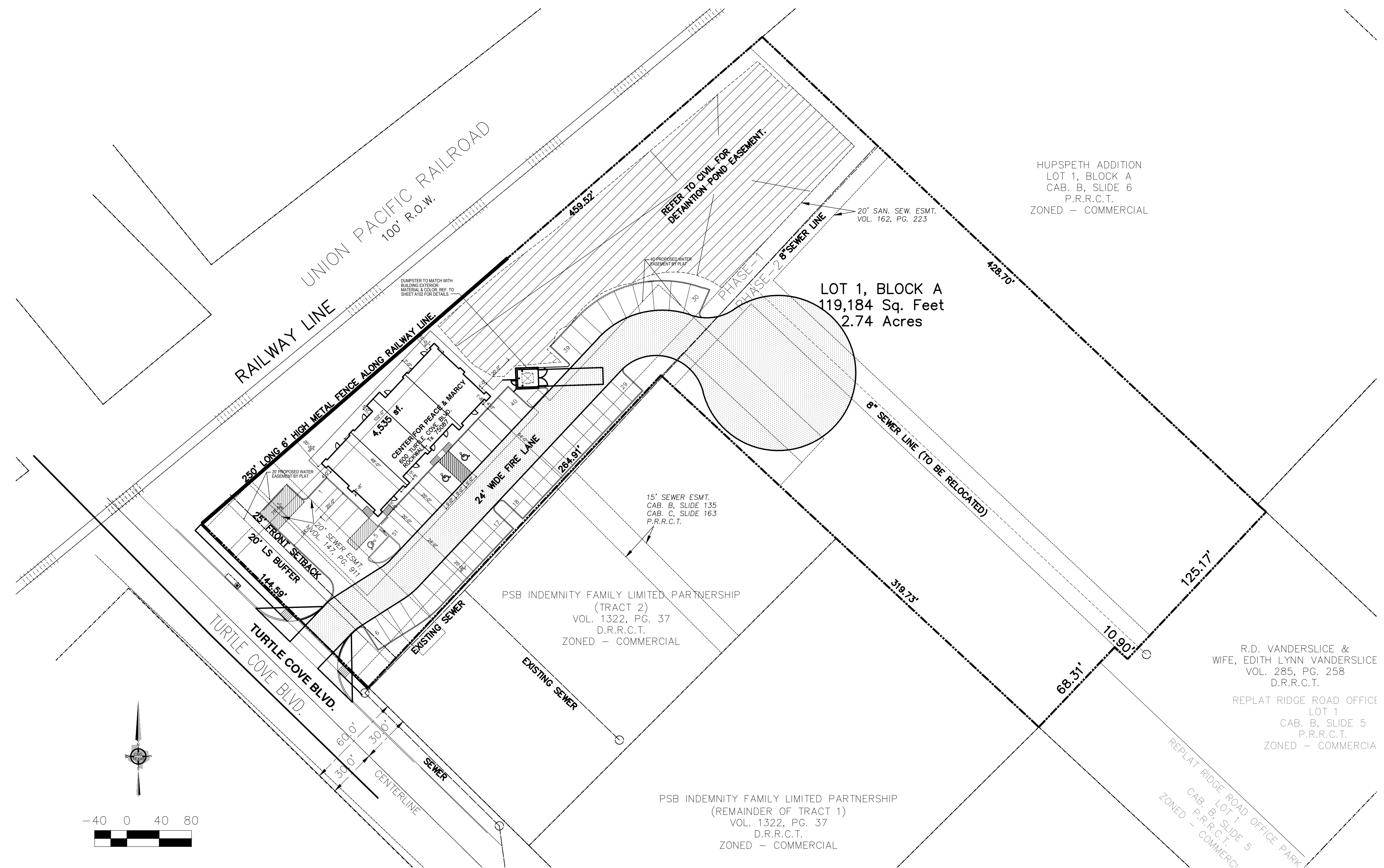
03 HANDICAPPED PARKING STALL
N.T.S.



THE SITE
600 TURTLE COVE DR.
ROCKWALL, TX 75087

02 VICINITY MAP
SCALE: 1"=40'4"

SITE DATA TABLE	
DESCRIPTION	
ZONING (FROM ZONING MAP)	COMMERCIAL (C) DISTRICT
ZONING	COMMERCIAL (C) DISTRICT
OVERLAY DISTRICT	SCENIC OVERLAY DISTRICT (SOD)
LOT AREA PHASE-1	1.28 AC. (55,757 SF.)
BUILDING AREA PHASE-1	4,535 SF.
TOTAL LOT AREA	2.74 AC. (119,184 SF.)
LOT COVERAGE	25.88%
FLOOR AREA RATIO	0.038:1
BUILDING HEIGHT	ONE STORY (29'-8" MAX.)
RETAIL AREA	2,268 SF.
ASSEMBLY (WORSHIP)	2,267 SF.
WORSHIP OCCUPANTS	110 M + 26 W = 136 TOTAL
RETAIL OCCUPANTS	2,268 / 60 = 37.8 (SAY 38)
PARKING REQUIRED (WORSHIP)	136/4 = 34
PARKING REQUIRED (RETAIL)	2,268/200 = 11.34 (SAY 12)
TOTAL PARKING REQUIRED	34+12 = 46
TOTAL PARKING PROVIDED	51 INCLUDING 3 ADA



01 SITE PLAN
SCALE: 1"=40'4"

OWNER:
CENTER FOR PEACE AND MERCY, INC.
PHONE: 318-617-3491
EMAIL: Peacemercyinc@gmail.com

PROJECT:
RETAIL BUILDING PHASE-1
600 Turtle Cove Boulevard, Rockwall, Tx 75087

REVISIONS:

NO.	DATE	DESCRIPTION
1	10.28.22	CITY COMMENTS

ARCHITECT OF THE RECORD:
Fakruddin Khondaker AIA, NCARB
Oculus Architects, Inc.
14310 Rich Branch Dr.
North Potomac, MD 20878
Tel: (800) 605-4806



12/26/2022
amazing concept
residential & commercial projects
545 Coventry Drive, Grapevine, TX 76051
Tel: (817) 806-0811
E-mail: okm.heboluzzaman@gmail.com

SHEET TITLE:
SITE PLAN

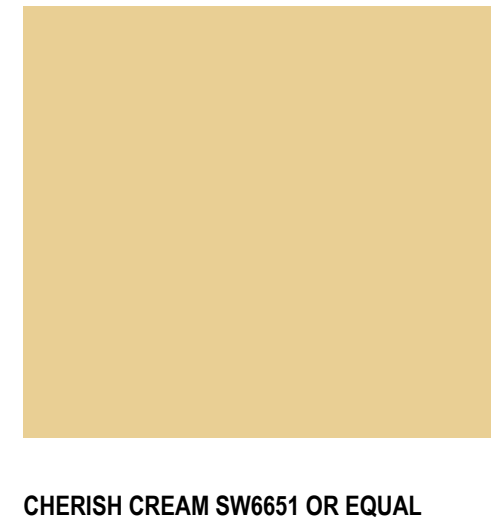
DATE: 06.09.2021
SCALE: AS SHOWN
DRAWN: DESIGNER:
A. HELALUZZAMAN

PROJECT #
H-2019-02
SHEET NO. **A101**

- TYPICAL SITE PLAN NOTES:**
- ALL UTILITY SERVICES NEEDS TO BE VERIFIED REFER TO CIVIL & MEP DRAWINGS.
 - KEEP WORK AREA CLEAN AND SAFE DURING WORKING HOURS AND DISPOSE TRASHES END OF THE DAY.
 - REFER TO CIVIL DRAWINGS FOR FINAL GRADING.
 - REFER TO CIVIL & SURVEY DRAWINGS FOR LAND BOUNDARY & AREA.
 - REFER TO CIVIL FOR ROAD CURBS, DETAILS & DIMENSION CONTROL NUMBERS.
 - REFER TO CIVIL FOR ADDITIONAL PROJECT DATA.
 - REFER TO CIVIL FOR DUMPSTER AREA DRAIN DETAILS.



DARK BRONZE FRAMES, PARAPET CAP & CANOPY



CHERISH CREAM SW6651 OR EQUAL



BORAL KINGSIZE MERIDIAN NEW-FREEDOM OR EQUAL



NATURAL LIME STONE OR EQUAL

NOTE:

BRICK: 63% 381 SF.
 STONE: 27% 162 SF.
 EIFS: 10% 63 SF.

2 SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF ____.

WITNESS OUR HANDS, THIS ____ DAY OF ____.

 Planning & Zoning Commission, Chairman Director of Planning & Zoning

OWNER:
 CENTER FOR PEACE AND MERCY, INC.

PHONE: 318-617-3491
 EMAIL: Peacemercyinc@gmail.com

PROJECT:
 RETAIL BUILDING
 PHASE-1

600 Turtle Cove Boulevard, Rockwall, Tx 75087

REVISIONS:

ARCHITECT OF THE RECORD:
 Fokreddin Khondaker AIA, NCARB.
Oculus Architects, Inc.
 14310 Rich Branch Dr.
 North Potomac, MD 20878
 Tel. (817) 806 0811
 E-mail: okm.heloluzzaman@gmail.com

amazing concept
 residential & commercial projects
 545 Coventry Drive, Grapevine, Tx 75051
 Tel. (817) 806 0811
 E-mail: okm.heloluzzaman@gmail.com

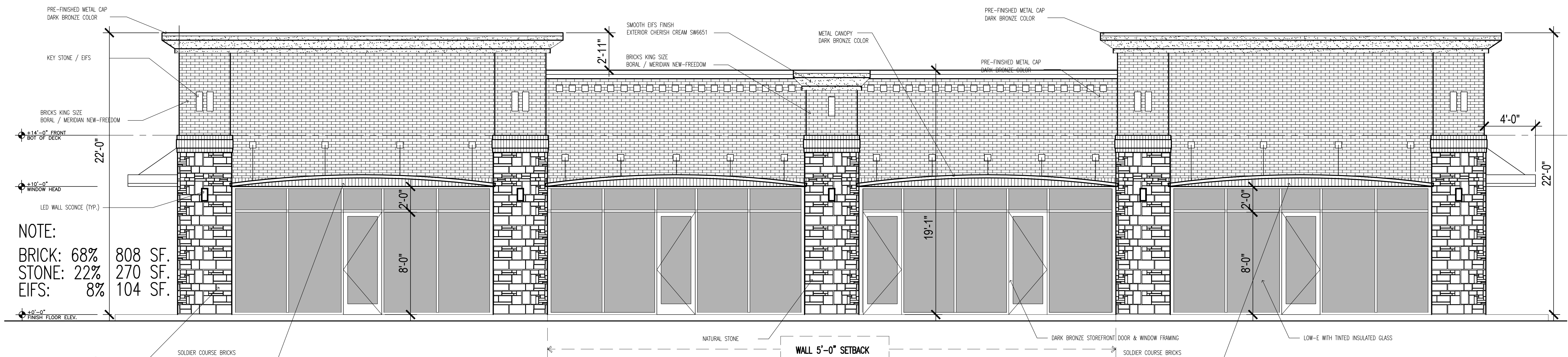
SHEET TITLE:
 EXTERIOR ELEVATIONS

DATE:
 04.28.2023

SCALE:
 AS SHOWN

PROJECT #
H-2019-02

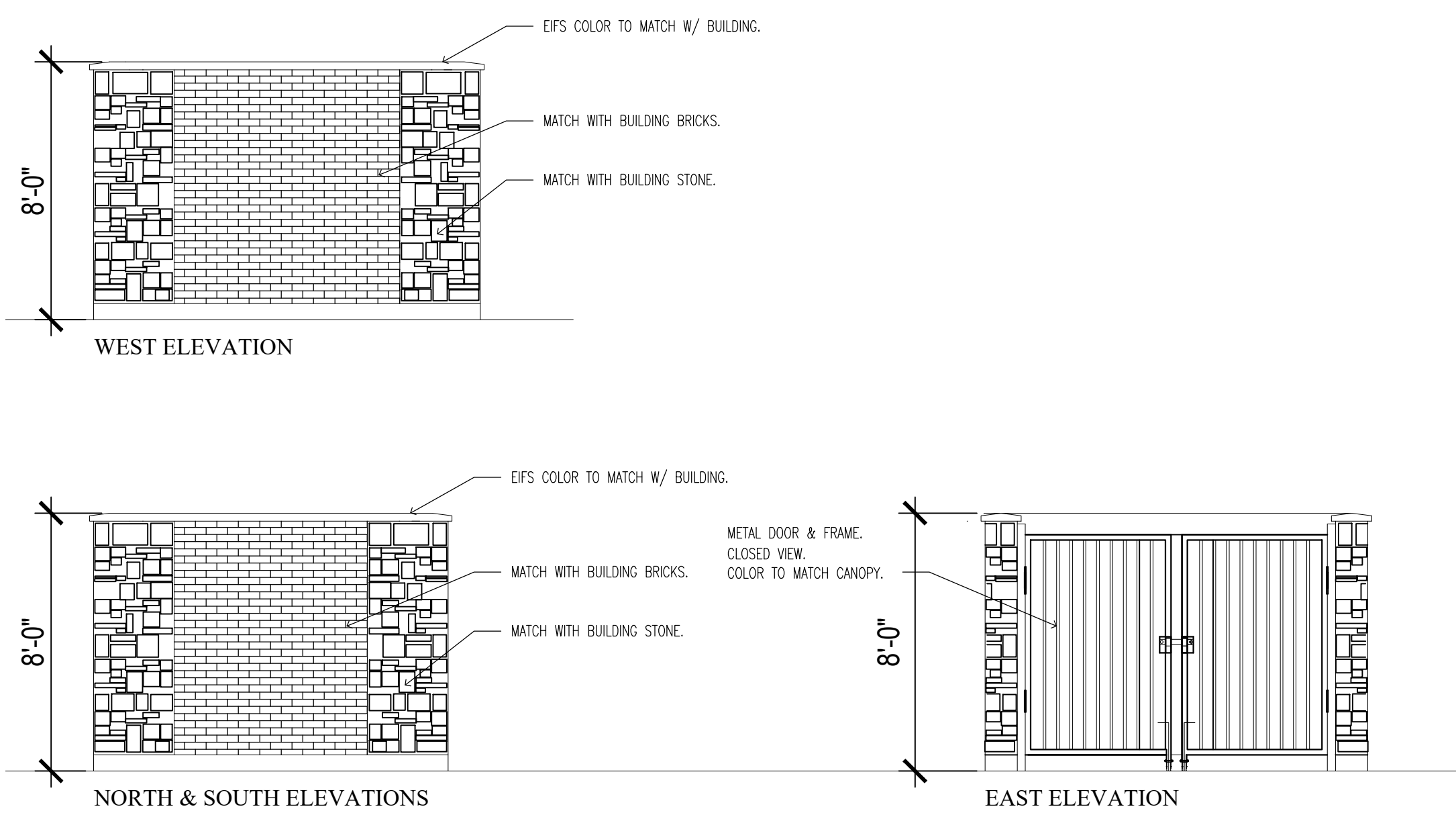
SHEET NO:
 A501



1 EAST ELEVATION

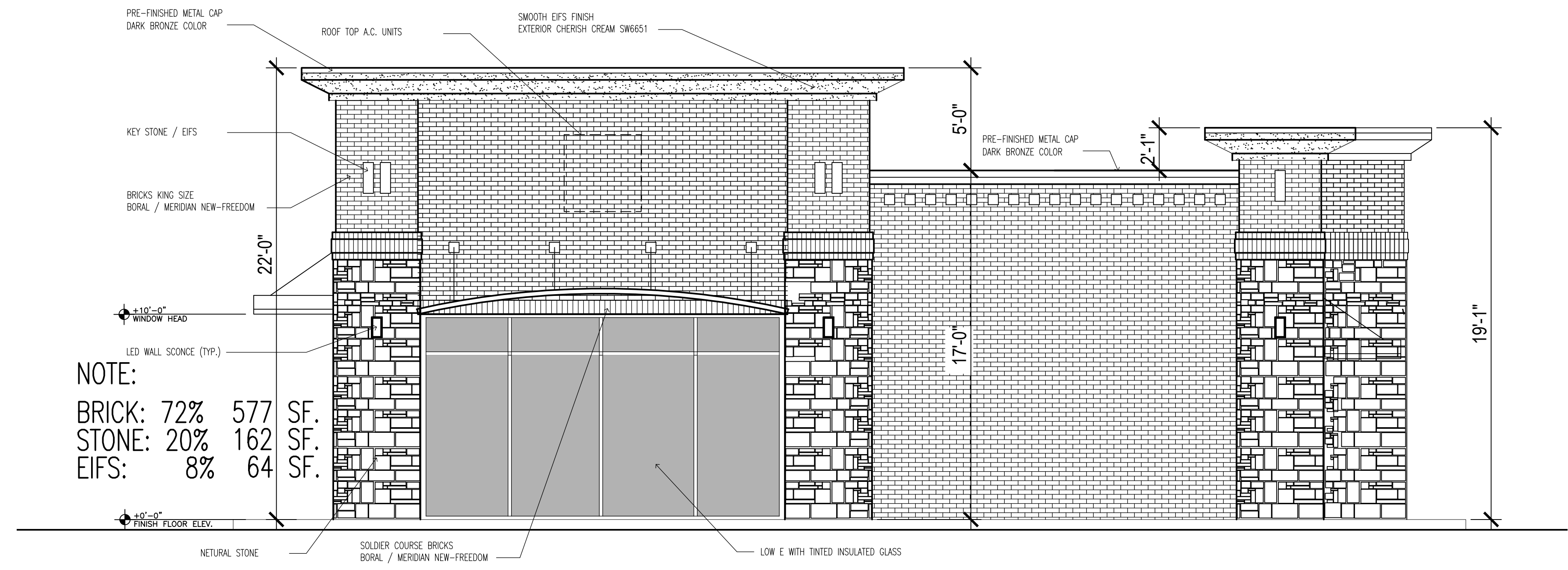
SCALE: 1/4" = 1'-0"

CASE NO: SP2023-017



3 DUMPSTER ELEVATIONS

SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION

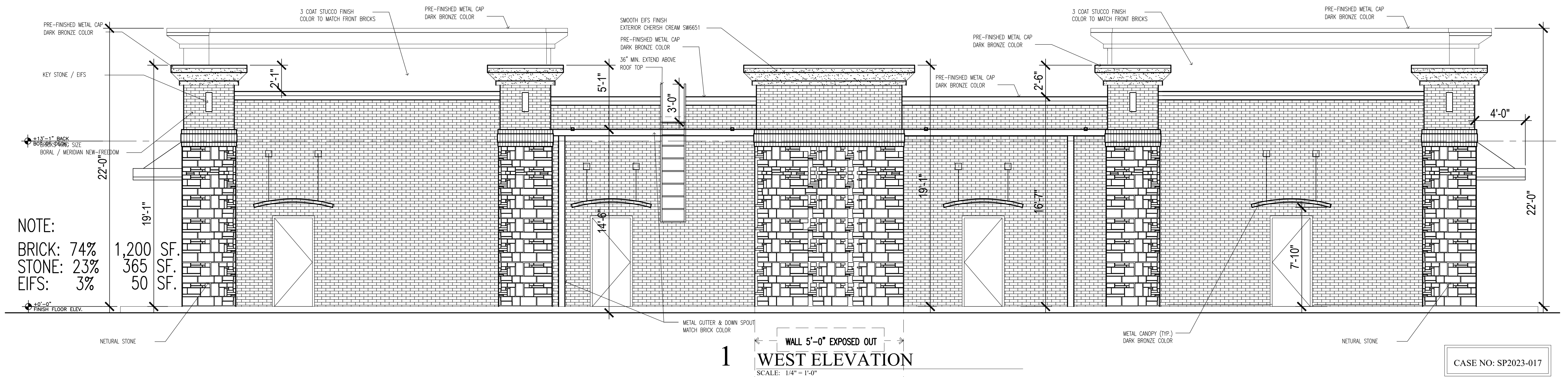
SCALE: 1/4" = 1'-0"

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF ____.

WITNESS OUR HANDS, THIS ____ DAY OF ____.

Planning & Zoning Commission, Chairman

Director of Planning & Zoning



1 WEST ELEVATION

SCALE: 1/4" = 1'-0"

CASE NO: SP2023-017

OWNER:
CENTER FOR PEACE AND MERCY, INC.
PHONE: 318-617-3491
EMAIL: Peacemercyinc@gmail.com

PROJECT:
RETAIL BUILDING PHASE-1
600 Turtle Cove Boulevard, Rockwall, Tx 75087

REVISIONS:

ARCHITECT OF THE RECORD:
Fokruddin Khondaker AIA, NCARB.
Oculus Architects, Inc.
14310 Rich Branch Dr.
North Potomac, MD 20878
Tel. (817) 856 0811
E-mail: okm.helaluzzaman@gmail.com

amazing concept
residential & commercial projects
545 Coventry Drive, Grapevine, Tx 75051
Tel. (817) 856 0811
E-mail: okm.helaluzzaman@gmail.com

SHEET TITLE:
EXTERIOR ELEVATIONS

DATE: 04.28.2023
SCALE: AS SHOWN

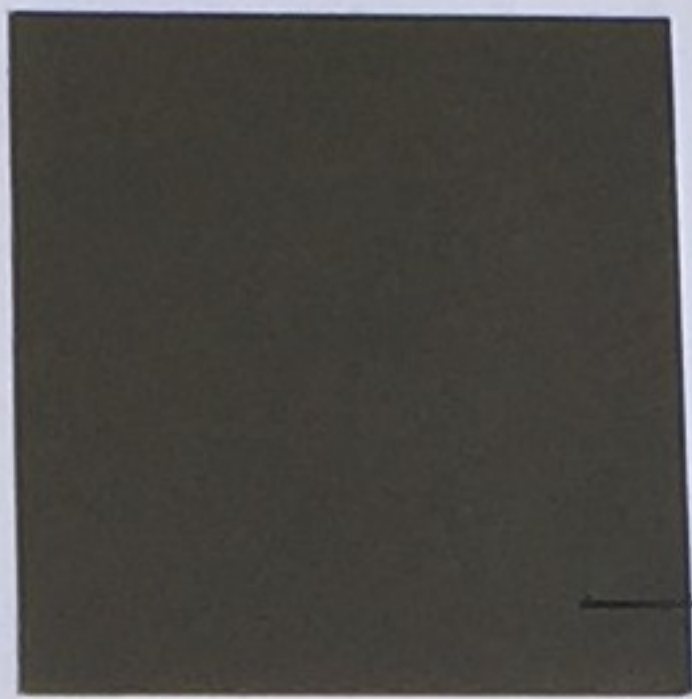
DRAWN: A. HELALUZZAMAN
DESIGNER:

PROJECT # H-2019-02

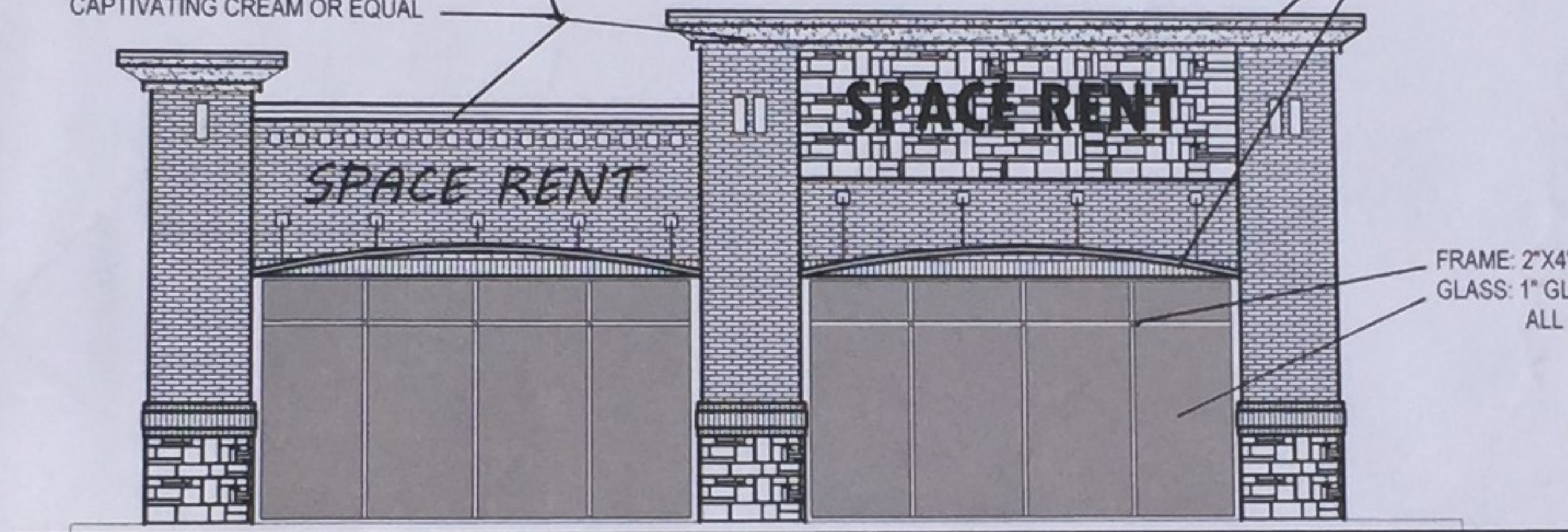
SHEET NO: A502



SW 6659
CAPTIVATING CREAM OR EQUAL



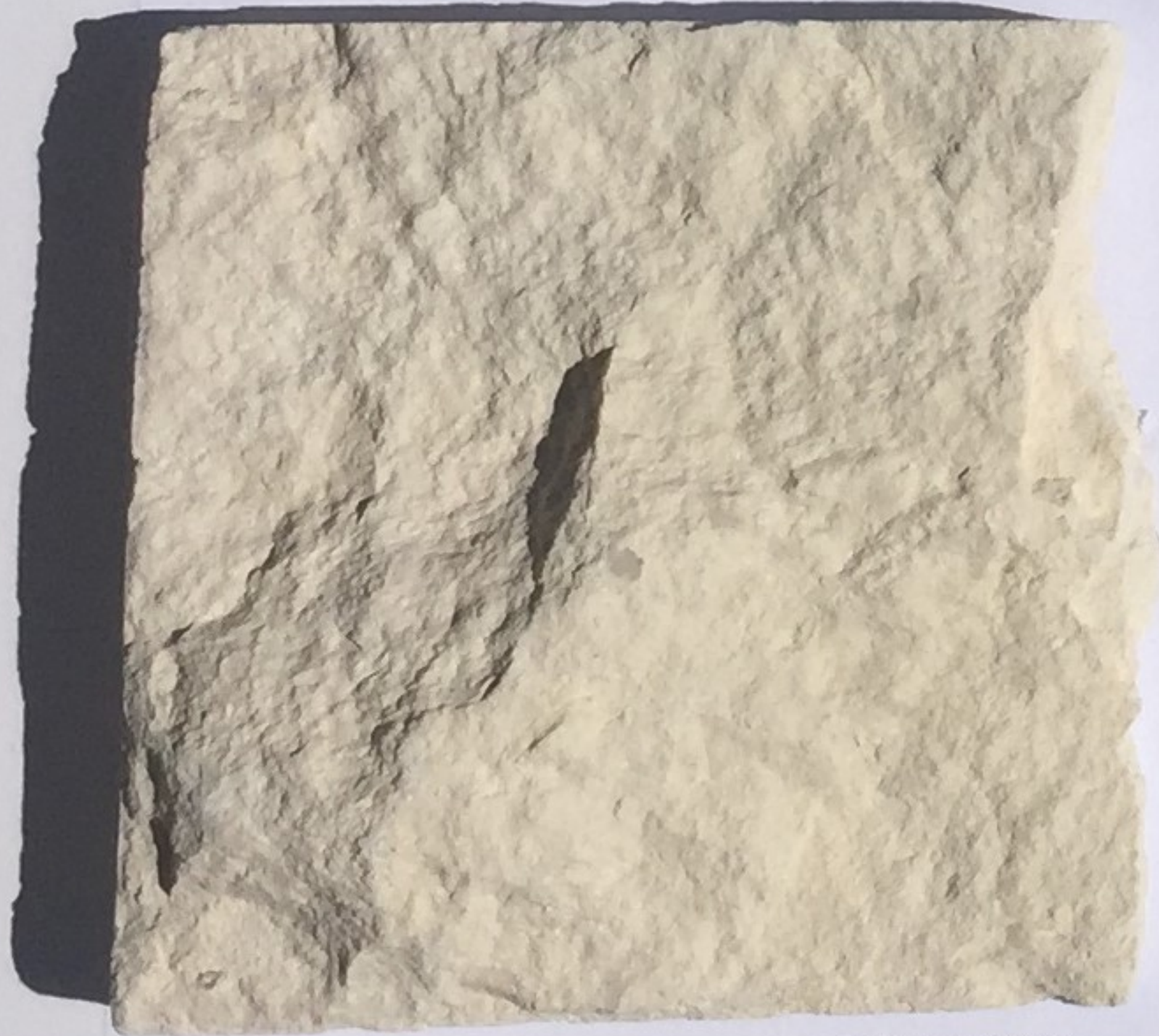
PRE-FINISHED METAL CAP & CANOPY
DARK BRONZE



FRAME: 2"x4" (DARK BRONZE)
GLASS: 1" GLAZING (1/4"-1/2"-1/4")
ALL TEMPERED & TINTED GLASS



PUBLIC ROAD SIDE ELEVATION



AUSTIN LIME STONE OR EQUAL



MERIDIAN NEW-FREEDOM OR EQUAL

OWNER:
Abdul Latif Khan
4152 Goodland Dr., Richardson, TX 75082

PROJECT:
RETAIL BUILDING
PHASE-1

APPLICANT:
Ahmed Helaluzzaman

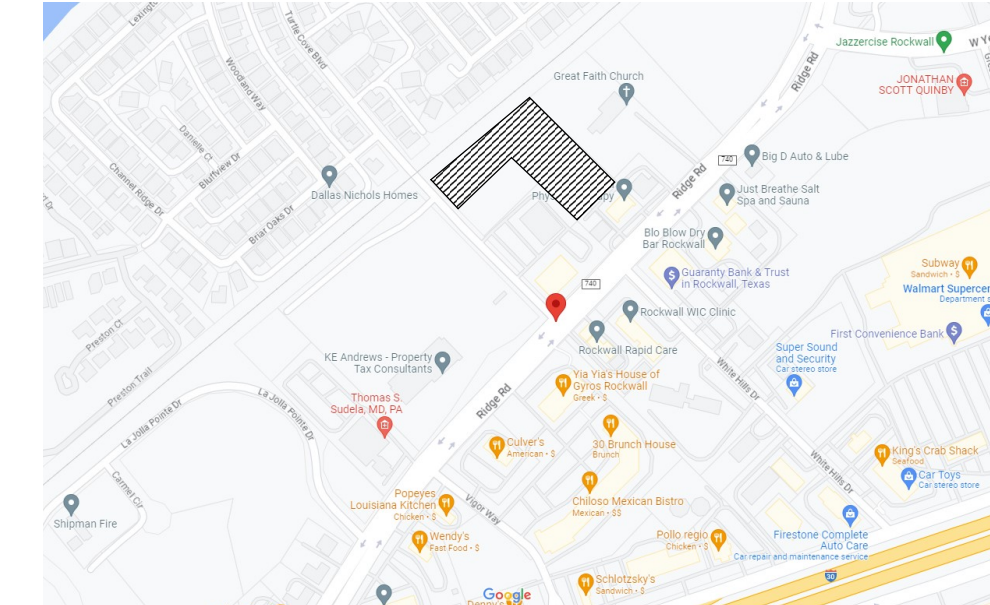
amazing o
environmental & construction
1461 Cooney Drive, Spring
TX, 77173-3531
E-mail: ahmed.helaluzzaman@gmail.com

PROJECT N
RETAIL BU
CASE NUM

Quantity	Symbol	Description
Landscape		
Ground Cover-Vines		
29982		Cynodon dactylon / Bermudagrass Sq. Ft.
Shrubs Under 4 Feet		
43		Ilex cornuta 'Burfordii Nana' / Holly, Dwarf Burford 24" Ht. Min.
19		Ilex vomitoria nana / Holly, Dwarf Yaupon 3 gallon
16		Raphiolepis indica / Indian Hawthorn 3 Gallon
Trees		
7		Cercis canadensis / Redbud, Eastern 6 ft. to 8 ft.
9		Ilex vomitoria / Holly, Yaupon 6 ft. to 8 ft.
17		Ilex x 'Nellie Stevens' / Holly, Nellie Stevens 15 Gallon
8		Quercus macrocarpa / Oak, Bur or Mossycup 4 in cal min
12		Quercus virginiana / Oak, Southern Live 4 in cal min
15		Ulmus crassifolia / Elm, Cedar 4 in cal min

General Irrigation Requirements.
 The owner shall be responsible for the health and vitality of plant material through the irrigation of all landscaped areas, turf and plant materials, and shall:
 (1) Provide a moisture level in an amount and frequency adequate to sustain growth of the plant materials on a permanent basis.
 (2) Be in place and operational at the time of the landscape inspection for Certificate of Occupancy (CO).
 (3) Be maintained and kept operational at all times to provide for efficient water distribution.

SITE DATA TABLE	
DESCRIPTION	COMMERCIAL ZONING DISTRICT
ZONING	COMMERCIAL ZONING DISTRICT
OWNER'S DISTRICT	SCENIC OVERLOOK DISTRICT 0000
LOT AREA PHASE 1	1.28 AC (50,737 SF)
BLDG. AREA PHASE 1	4,535 SF
TOTAL LOT AREA	2.74 AC (119,184 SF)
LOT COVERAGE	25.88%
FLOOR AREA RATIO	0.59
BUILDING HEIGHT	MAX. STORY (20' MAX)
NET AREA	2,284 SF
ADDITIONAL (SQUARE) FEET	2,284 SF
COMBINED OCCUPANTS	100.00 (100.00 TOTAL)
NETAL OCCUPANTS	2,284 (100.00 (100.00 TOTAL))
PARKING REQUIRED (OCCUPANT)	100.00 (100.00)
PARKING PROVIDED (TOTAL)	2,284 (100.00 (100.00 TOTAL))
TOTAL PARKING PROVIDED	547 (100.00)
TOTAL PARKING PROVIDED	\$1 INCLUDING TAXA



SITE LOCATION - NTS

DAVID L. GARRISON
 Landscape Design Studio
 4445 Eldorado Drive
 Plano, Texas 75093
 214-668-4163
 david@iPlanLandscapes.com



LANDSCAPE PLAN

CPM MASJID
 Center for Peace and Mercy, Inc.
 600 Turtle Cove Blvd.
 Rockwall, TX 75087

REVISIONS:
 None

DATE:
 5-7-2023

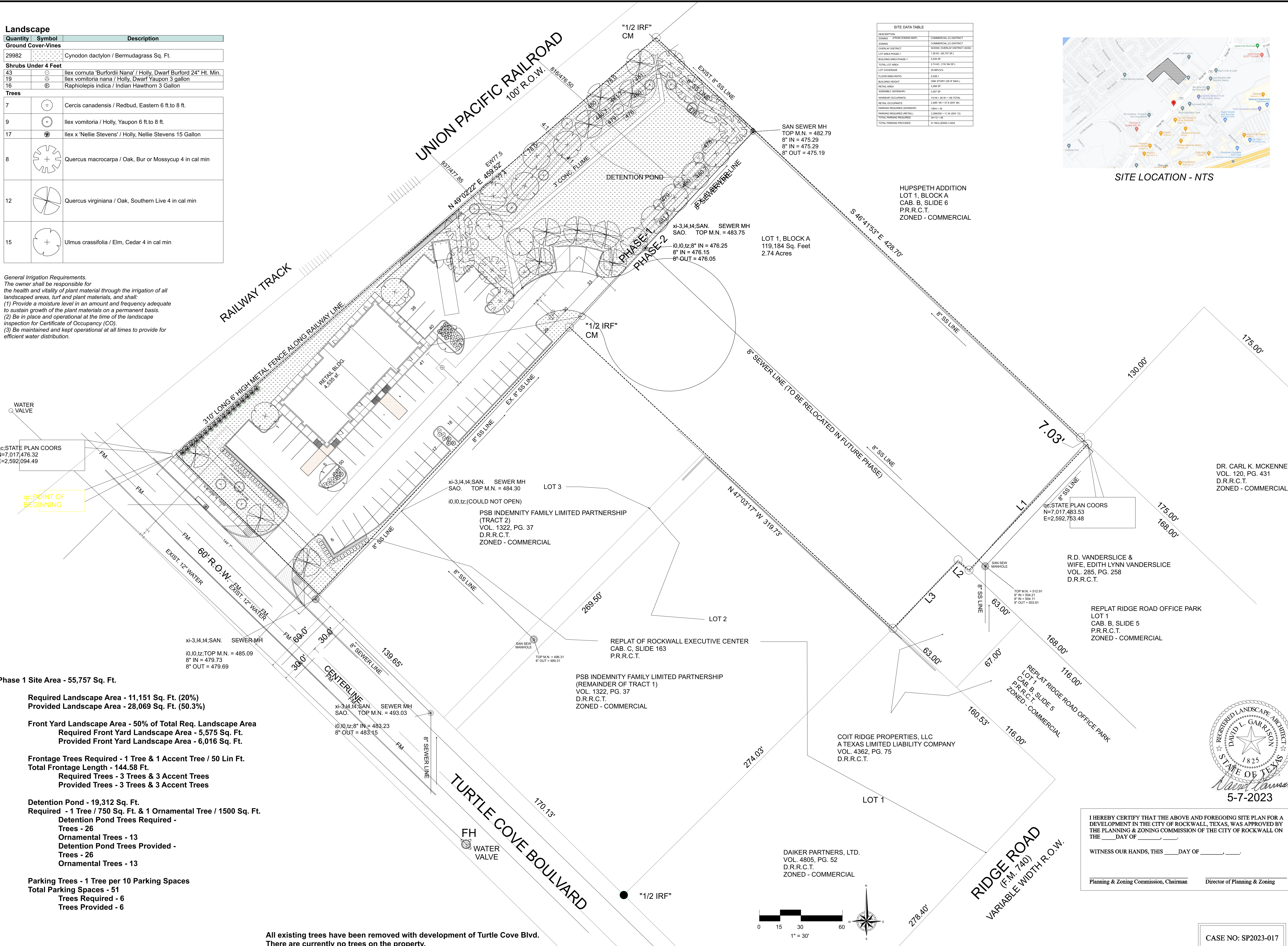
JOB NUMBER:
 230507

DRAWN BY:
 David G

CHECKED BY:
 N/A

SCALE:
 1" = 30'

SHEET:
 L - 1



- Phase 1 Site Area - 55,757 Sq. Ft.**
- Required Landscape Area - 11,151 Sq. Ft. (20%)
 - Provided Landscape Area - 28,069 Sq. Ft. (50.3%)
 - Front Yard Landscape Area - 50% of Total Req. Landscape Area
 - Required Front Yard Landscape Area - 5,575 Sq. Ft.
 - Provided Front Yard Landscape Area - 6,016 Sq. Ft.
 - Frontage Trees Required - 1 Tree & 1 Accent Tree / 50 Lin Ft.
 - Total Frontage Length - 144.58 Ft.
 - Required Trees - 3 Trees & 3 Accent Trees
 - Provided Trees - 3 Trees & 3 Accent Trees
 - Detention Pond - 19,312 Sq. Ft.
 - Required - 1 Tree / 750 Sq. Ft. & 1 Ornamental Tree / 1500 Sq. Ft.
 - Detention Pond Trees Required - Trees - 26
 - Ornamental Trees - 13
 - Detention Pond Trees Provided - Trees - 26
 - Ornamental Trees - 13
 - Parking Trees - 1 Tree per 10 Parking Spaces
 - Total Parking Spaces - 51
 - Trees Required - 6
 - Trees Provided - 6

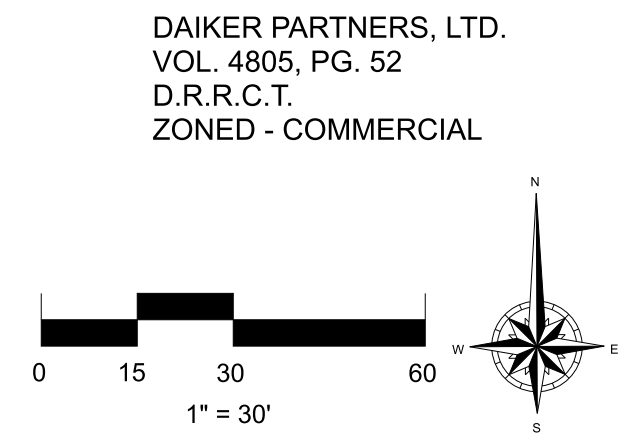


I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF ____.

WITNESS OUR HANDS, THIS ____ DAY OF ____.

 Planning & Zoning Commission, Chairman

 Director of Planning & Zoning



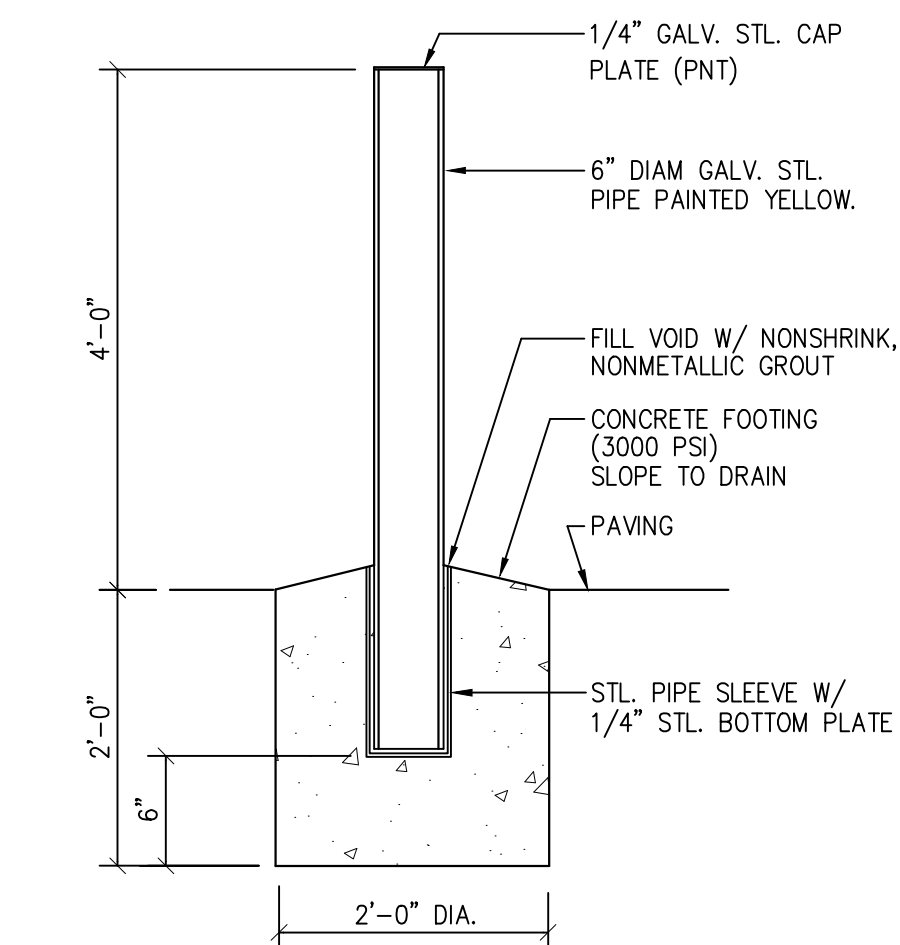
CASE NO: SP2023-017

All existing trees have been removed with development of Turtle Cove Blvd. There are currently no trees on the property.

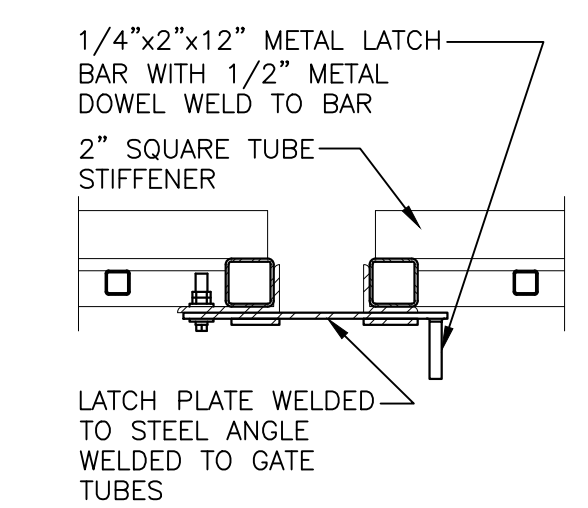
- TYPICAL SITE PLAN NOTES:**
1. ALL UTILITY SERVICES NEEDS TO BE VERIFIED REFER TO CIVIL & MEP DRAWINGS.
 2. KEEP WORK AREA CLEAN AND SAFE DURING WORKING HOURS AND DISPOSE TRASHES END OF THE DAY.
 3. REFER TO CIVIL DRAWINGS FOR FINAL GRADING.
 4. REFER TO CIVIL & SURVEY DRAWINGS FOR LAND BOUNDARY & AREA.
 5. REFER TO CIVIL FOR ROAD CURBS, DETAILS & DIMENSION CONTROL NUMBERS.
 6. REFER TO CIVIL FOR ADDITIONAL PROJECT DATA.
 7. REFER TO CIVIL FOR DUMPSTER AREA DRAIN DETAILS.

OWNER:
CENTER FOR PEACE AND MERCY, INC.
PHONE: 318-617-3491
EMAIL: Peacemercyinc@gmail.com

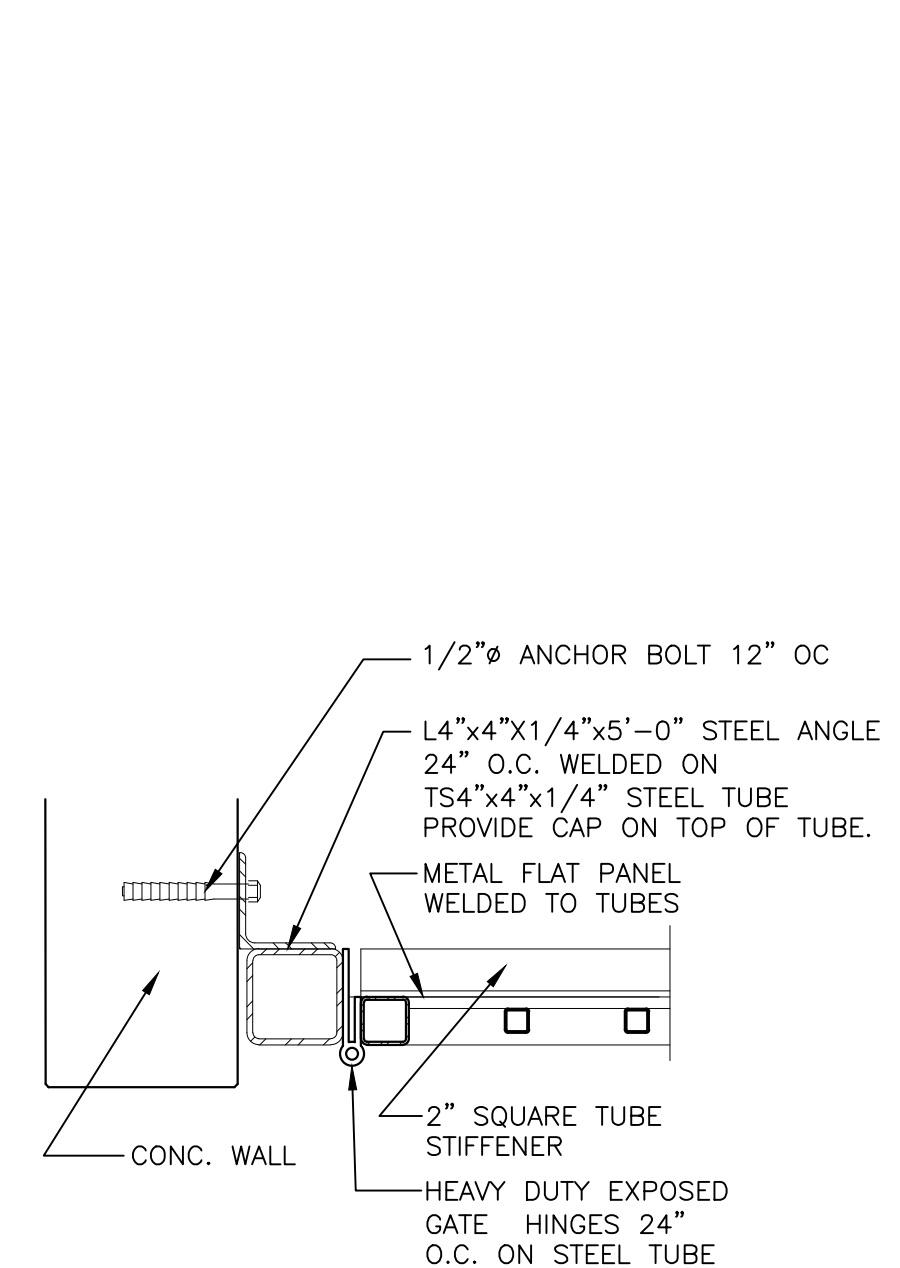
PROJECT:
RETAIL BUILDING
PHASE-1
600 Turtle Cove Boulevard, Rockwall, Tx 75087



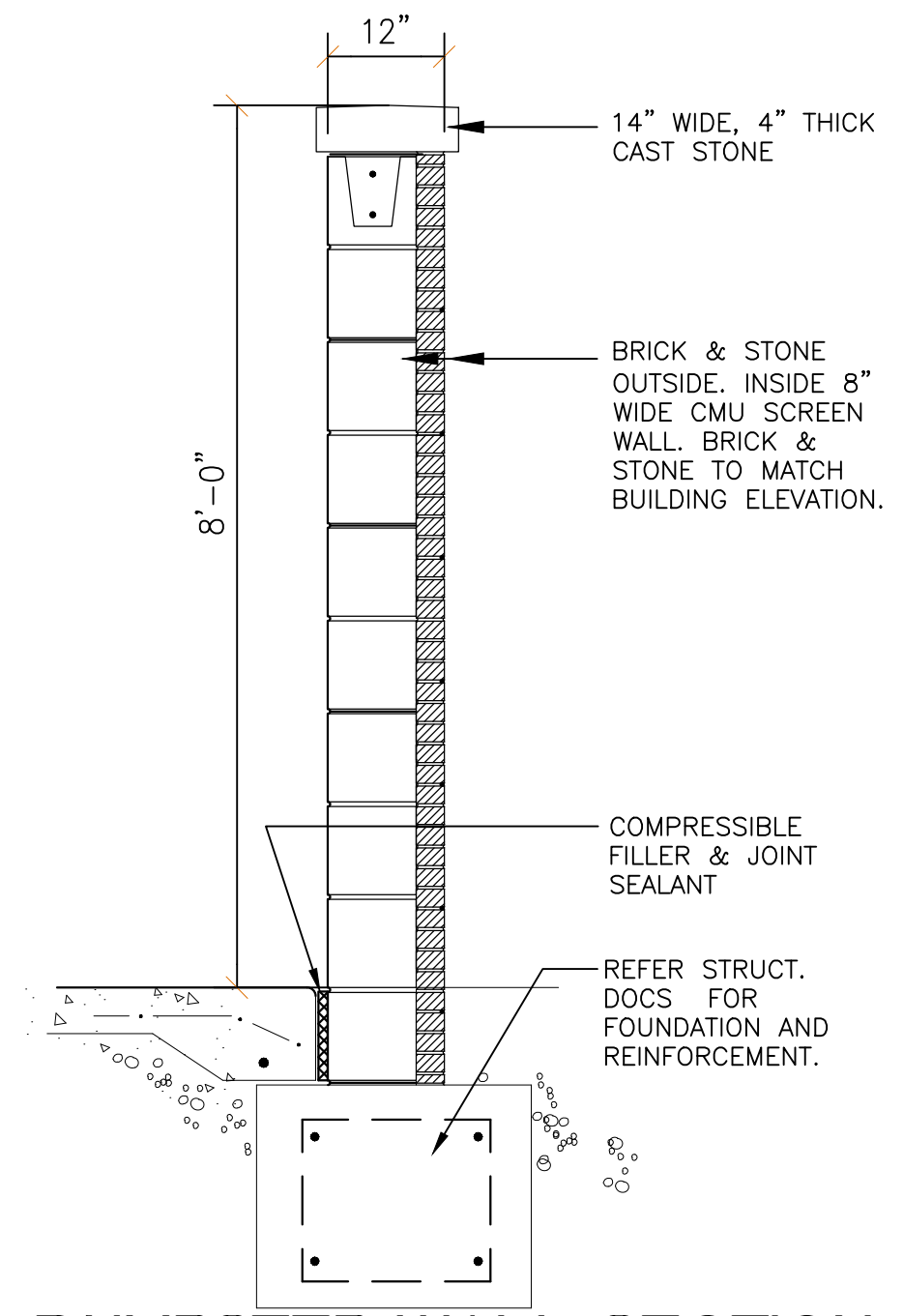
06 PIPE BOLLARD DETAIL
 SCALE: 1/4" = 1'-0"



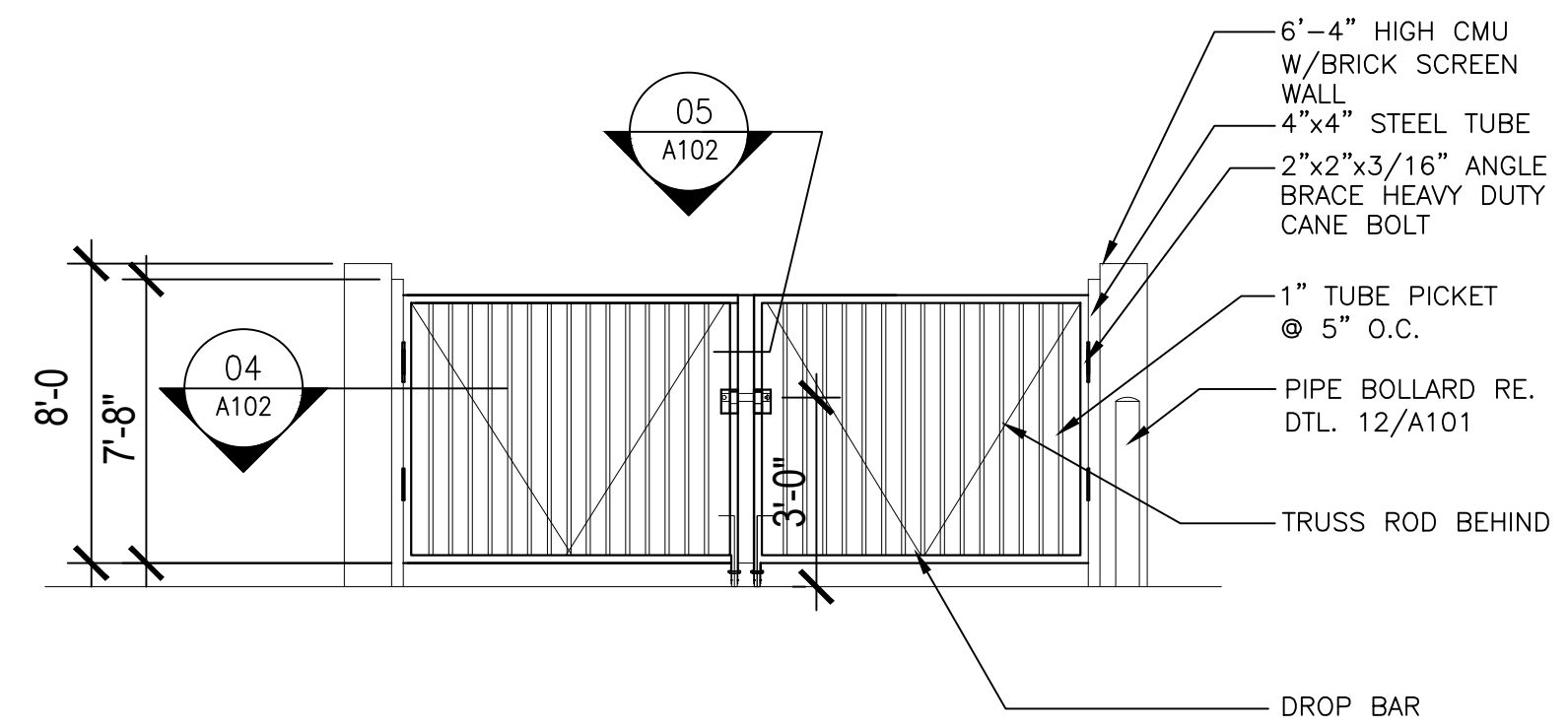
05 GATE HINGE DETAIL
 SCALE: 1/4" = 1'-0"



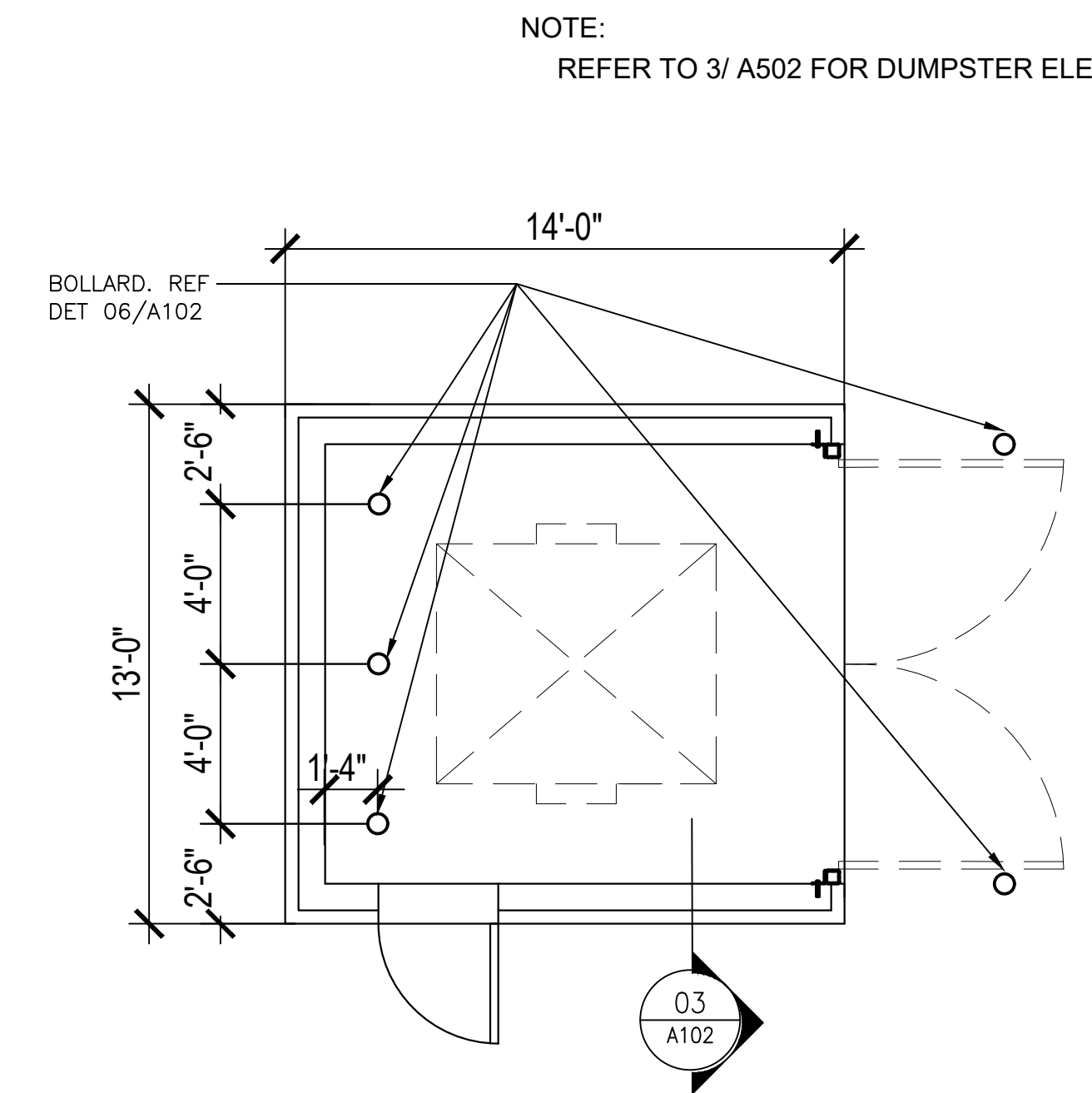
04 GATE HINGE DETAIL
 SCALE: 1/4" = 1'-0"



03 DUMPSTER WALL SECTION
 SCALE: 1/4" = 1'-0"



02 DUMPSTER ENCLOSURE ELEVATION
 SCALE: 1/4" = 1'-0"



01 DUMPSTER ENCLOSURE PLAN
 SCALE: 1/4" = 1'-0"

NOTE:
 REFER TO 3/ A502 FOR DUMPSTER ELEVATIONS.

REVISIONS:

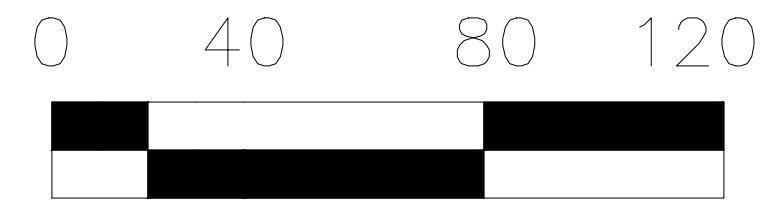
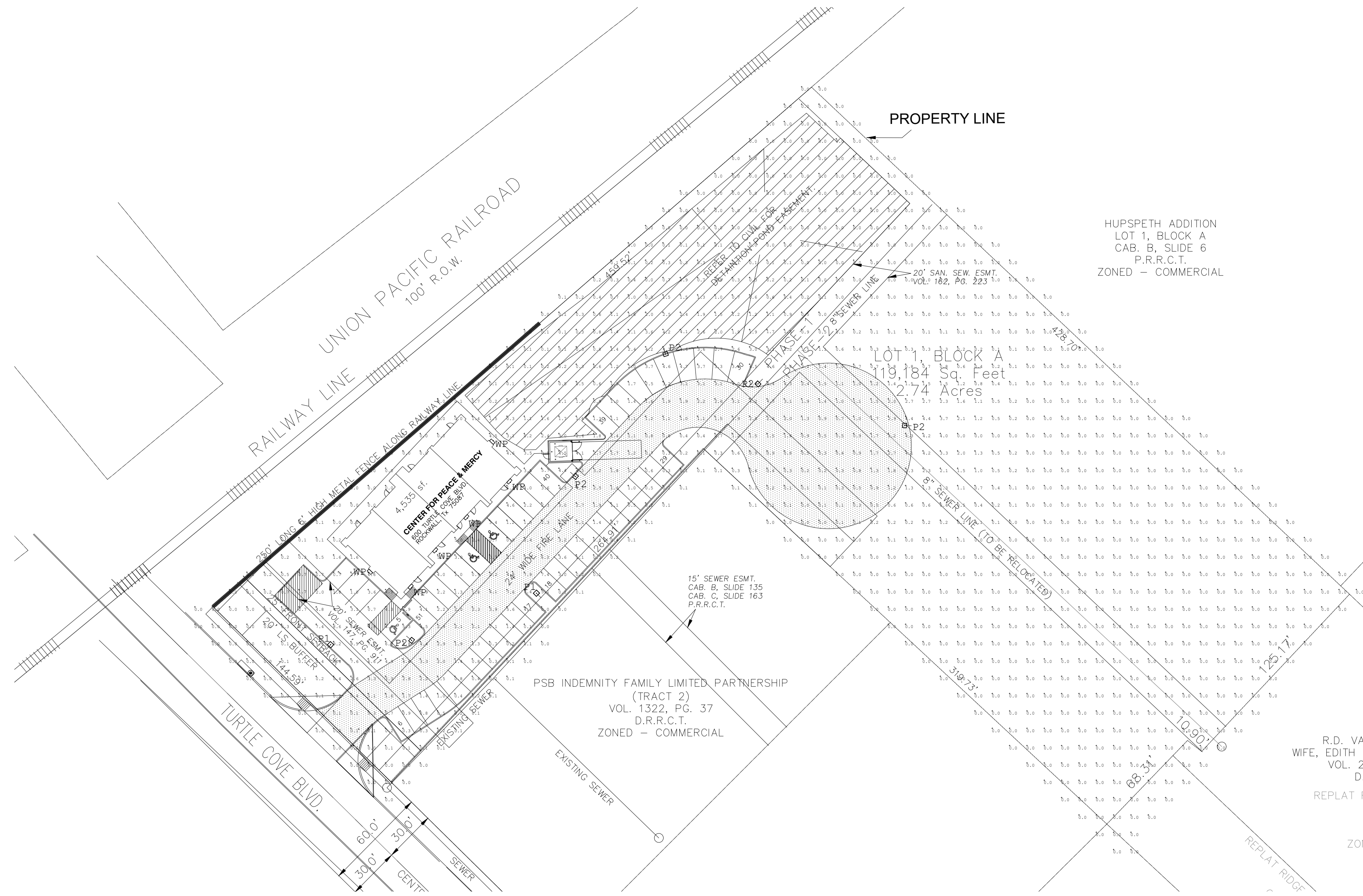
ARCHITECT OF THE RECORD:
 Fokruddin Khondaker AIA, NCARB
Oculus Architects, Inc.
 14310 Rich Branch Dr.
 North Potomac, MD 20878
 Tel: (800) 609 4806



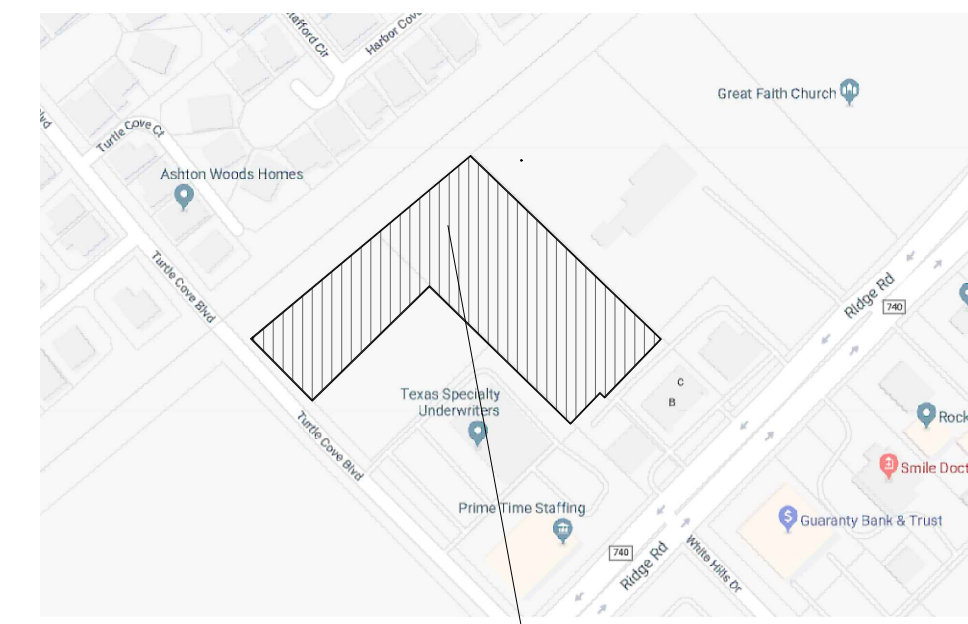
12/26/2022
amazing concept
 residential & commercial projects
 545 Coventry Drive, Grapevine, Tx 76051
 Tel: (817) 806 0811
 E-mail: okm.helaluzzaman@gmail.com

SHEET TITLE:
SITE DETAILS

DATE: 06.09.2021
 SCALE: AS SHOWN
 DRAWN: DESIGNER:
 A. HELALUZZAMAN
 PROJECT # **H-2019-02**
 SHEET NO: **A102**

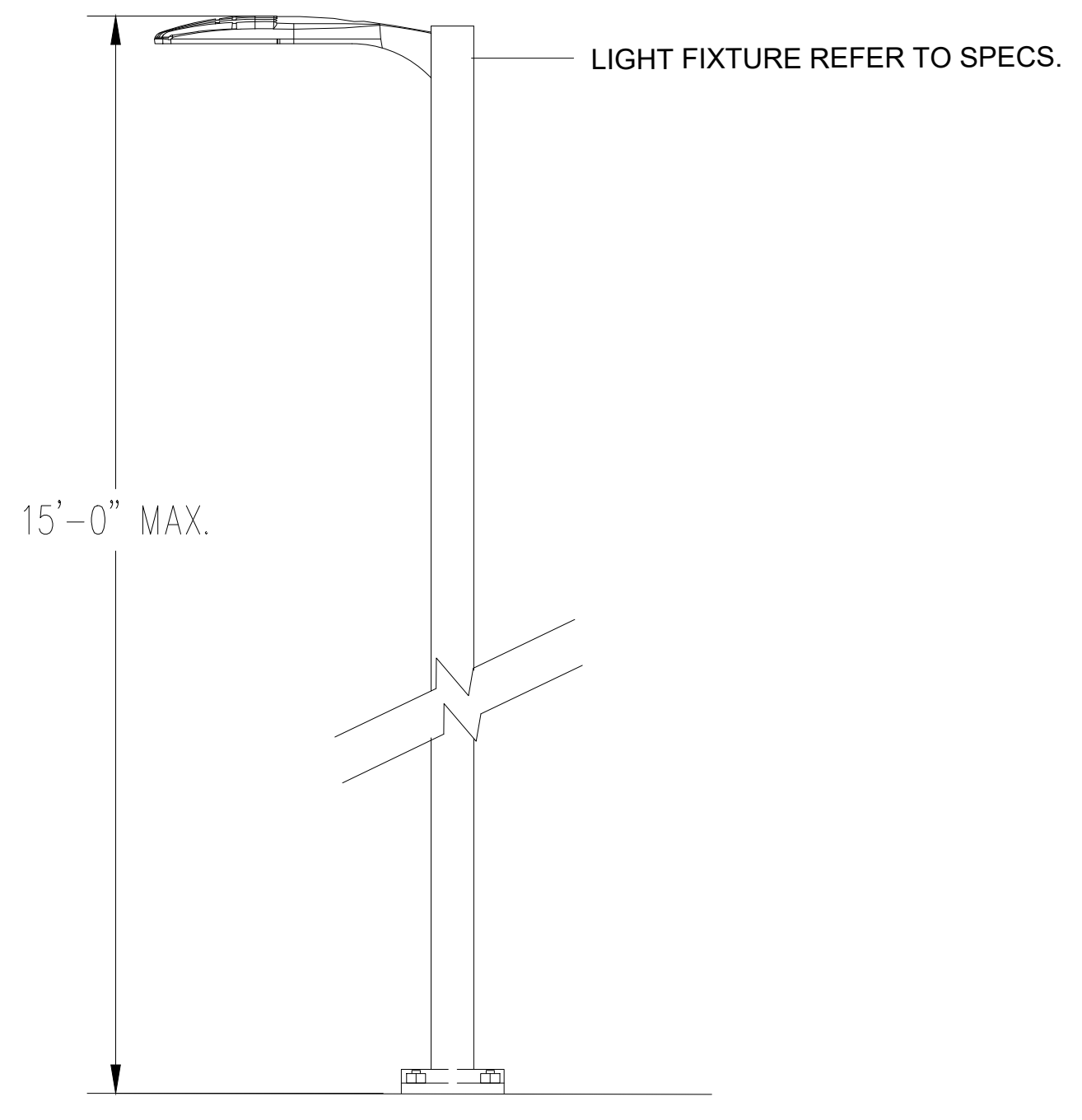


01 PHOTOMETRIC PLAN
SCALE: 1"=40'-0"



THE SITE
600 TURTLE COVE BLVD.
ROCKWALL, TX 75087

02 VICINITY MAP
SCALE: 1"=40'-0"



03 TYPICAL SITE POLE
SCALE: N.T.S.

SITE DATA TABLE	
DESCRIPTION	
ZONING (FROM ZONING MAP)	COMMERCIAL (C) DISTRICT
ZONING	COMMERCIAL (C) DISTRICT
OVERLAY DISTRICT	SCENIC OVERLAY DISTRICT (SOD)
LOT AREA PHASE-1	1.28 AC. (55,757 SF.)
BUILDING AREA PHASE-1	4,535 SF.
TOTAL LOT AREA	2.74 AC. (119,184 SF.)
LOT COVERAGE	25.88%
FLOOR AREA RATIO	0.038:1
BUILDING HEIGHT	ONE STORY (29'-8" MAX.)
RETAIL AREA	2,268 SF.
ASSEMBLY (WORSHIP)	2,267 SF.
WORSHIP OCCUPANTS	110 M + 26 W = 136 TOTAL
RETAIL OCCUPANTS	2,268 / 60 = 37.8 (SAY 38)
PARKING REQUIRED (WORSHIP)	136/4 = 34
PARKING REQUIRED (RETAIL)	2,268/200 = 11.34 (SAY 12)
TOTAL PARKING REQUIRED	34+12 = 46
TOTAL PARKING PROVIDED	51 INCLUDING 3 ADA

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Free Grid	Illuminance	Fc	0.75	9.5	0.0	N.A.	N.A.

Luminaire Schedule							
LABEL	Qty	Symbol	MANUFAC	Description	Lum. Lumens	Lum. Watts	
P1	2	☐	Lithonia Lighting	DSX1 LED P3 50K BLC MVOLT	10439	102	
P2	5	☐	Lithonia Lighting	DSX1 LED P3 50K T5M MVOLT	13218	102	
WP	6	☐	Lithonia Lighting	WSQ LED 1 10A700_40K SR2 MVOLT	2159	24	

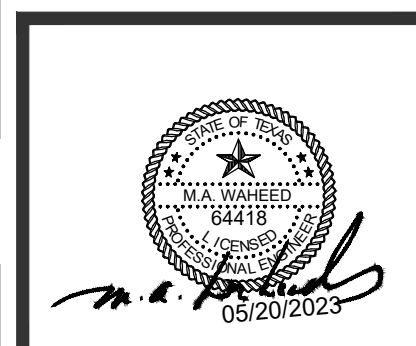
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF _____, ____.

WITNESS OUR HANDS, THIS ____ DAY OF _____, ____.

Planning & Zoning Commission, Chairman

Director of Planning & Zoning

CASE NO.: SP2023-017



WAHEED CONSULTING
420 PARKSIDE COURT
MURPHY, TEXAS 75094
PH: 817-703-2010
FIRM #: F-0336

OWNER:
CENTER FOR PEACE AND MERCY, INC.
PHONE: 318-617-3491
EMAIL: Peacemercyinc@gmail.com

PROJECT:
RETAIL BUILDING
PHASE-1
600 Turtle Cove Boulevard, Rockwall, Tx 75087

REVISIONS:

amazing concept
residential & commercial projects
545 Coventry Drive, Grapevine, Tx 75051
Tel: (817) 806 0811
E-mail: okm.helaluzzaman@gmail.com

SHEET TITLE:
PHOTOMETRIC PLAN

DATE: 06.11.2019	SCALE: AS SHOWN
DRAWN: A. HELALUZZAMAN	DESIGNER: A. HELALUZZAMAN
PROJECT # SP2023-017	SHEET NO: ESP



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: May 30, 2023
APPLICANT: David Osborn; *RACK Holdings*
CASE NUMBER: SP2023-018; *Amended Site Plan for 525 National Drive*

On April 24, 2023, staff received an application for a Certificate of Occupancy (CO) [Permit Number COM2023-1787] for an office/warehouse land use on the subject property. The CO application provided by the applicant indicated that the business would incorporate outside storage as part of the operations on the subject property. Given this, staff informed the applicant that outside storage was not permitted within the Heavy Commercial (HC) District unless screening was provided in accordance with Article 08, *Screening and Landscaping Standards*, of the Unified Development Code (UDC). This prompted the owner of the subject property, David Osborn of RACK Holdings, to submit an *Amended Site Plan* proposing the necessary screening.

Based on the provided site plan, the outside storage will be located behind an existing chain link fence. The applicant's landscape plan indicates that nine (9) Cedar Trees will be planted in front of the existing chain link fence. In addition, the landscape plan indicates the Cedar Trees will be staggered and be six (6) feet in height at the time of planting. This will further reduce the visibility from National Drive. According to Subsection 05.02, *Loading Docks and Outside Storage Areas*, of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC) "...outside storage areas shall be screened from all public streets, open space, adjacent properties and any residential zoning districts or residentially used properties that abut or are directly across a public street or alley from the loading dock or outside storage area..." This subsection continues, stating that outside storage may be screened with a wrought iron fence and three (3) tiered screening, or a masonry wall may be constructed with canopy trees on 20-foot centers in accordance with Subsection 01.05, *Screening Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC). Given this, the proposed landscaping screening is not in conformance with the screening standards outlined within the Unified Development Code (UDC); however, the subject property is existing, and the proposed landscape screening should provide sufficient screening of the proposed outside storage from the right-of-way of National Drive. That being said, this is a discretionary decision for the Planning and Zoning Commission. Should the Planning and Zoning Commission have any questions concerning the applicant's request, staff and the applicant will be available at the May 30, 2023 Planning and Zoning Commission meeting.

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 5/25/2023

PROJECT NUMBER: SP2023-018
PROJECT NAME: Amended Site Plan for 525 National Drive
SITE ADDRESS/LOCATIONS: 525 NATIONAL DR

CASE CAPTION: Discuss and consider a request by David Osborn of RACK Holdings for the approval of an Amended Site Plan for an existing industrial building on a 1.50-acre parcel of land identified as Lot 11, Block A, 205 Business Park Addition, City of Rockwall, Rockwall County, Texas, zoned Heavy Commercial (HC) District, addressed as 525 National Drive, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	05/25/2023	Approved w/ Comments

05/25/2023: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request by David Osborn of RACK Holdings for the approval of an Amended Site Plan for an existing industrial building on a 1.50-acre parcel of land identified as Lot 11, Block A, 205 Business Park Addition, City of Rockwall, Rockwall County, Texas, zoned Heavy Commercial (HC) District, addressed as 525 National Drive.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

I.3 Please note the scheduled meeting for this case:

(1) Planning & Zoning Work Session meeting will be held on May 30, 2023

I.4 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City requires that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are required to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	05/25/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	05/22/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	05/23/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	05/23/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	05/19/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	05/22/2023	Approved

05/22/2023: Easter Red Cedars will need to be 4" caliper



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 525 National Dr. Rockwall Tx 75032

SUBDIVISION 205 Business Park LOT 11 BLOCK A

GENERAL LOCATION _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Heavy Commercial CURRENT USE Warehouse/Office

PROPOSED ZONING Heavy Commercial PROPOSED USE Warehouse/Office

ACREAGE 1.5 LOTS [CURRENT] _____ LOTS [PROPOSED] _____

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> OWNER	<u>RACK Holdings</u>	<input type="checkbox"/> APPLICANT	_____
CONTACT PERSON	<u>David Osborn</u>	CONTACT PERSON	_____
ADDRESS	<u>4649 Park wood</u>	ADDRESS	_____
CITY, STATE & ZIP	<u>Rockwall Tx 75032</u>	CITY, STATE & ZIP	_____
PHONE	<u>214-546-4826</u>	PHONE	_____
E-MAIL	<u>Popsosborn@gmail.com</u>	E-MAIL	_____

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED David Osborn [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

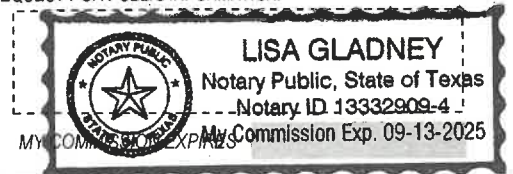
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17 DAY OF May, 2023

OWNER'S SIGNATURE _____

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS _____

David Osborn
Lisa Gladney



0 62.5 125 250 375 500 Feet

C

SP2023-018: Amended Site Plan for 525 National Drive

MIMS RD

NATIONAL DR

HC

PD-101

C

Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

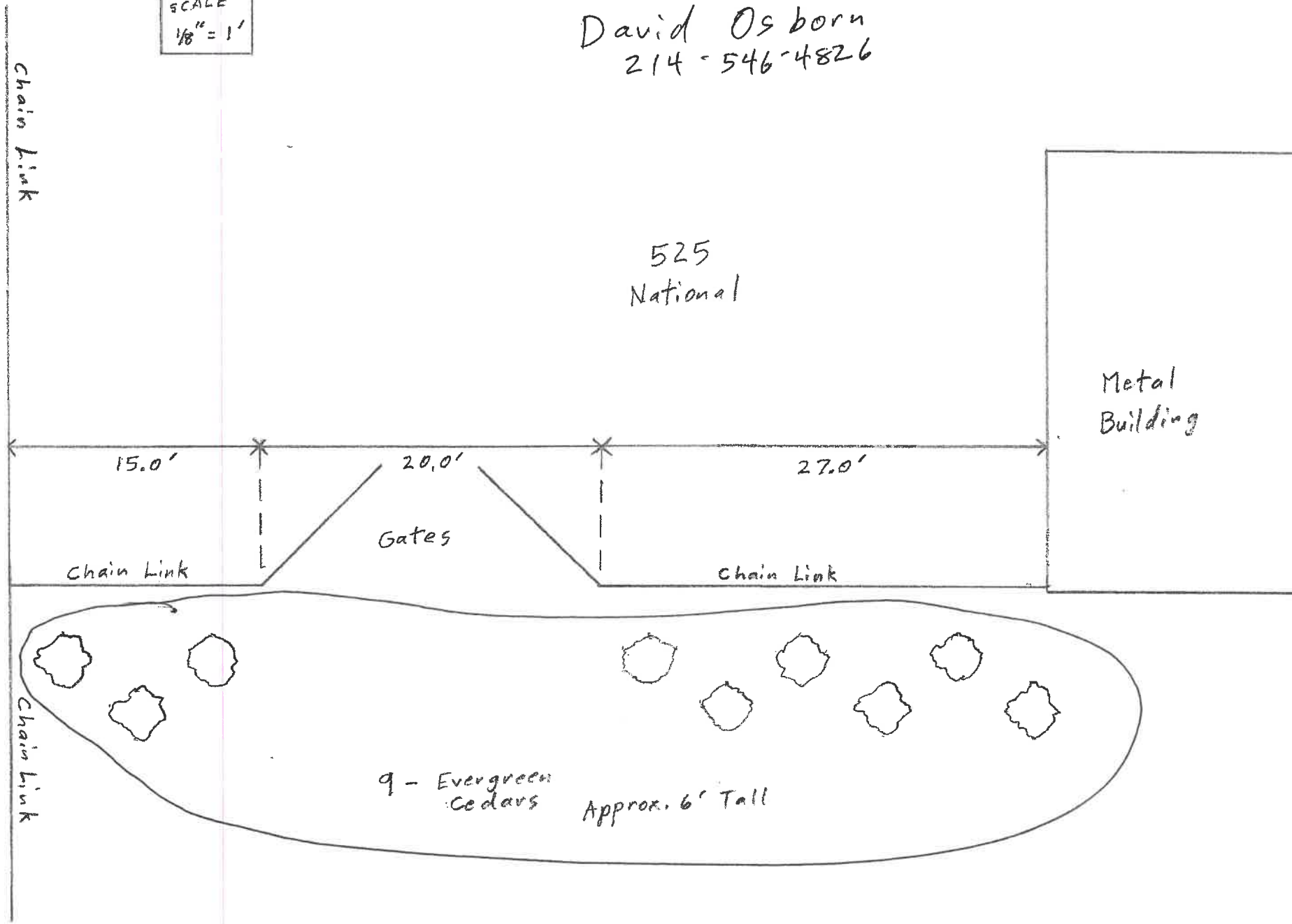
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

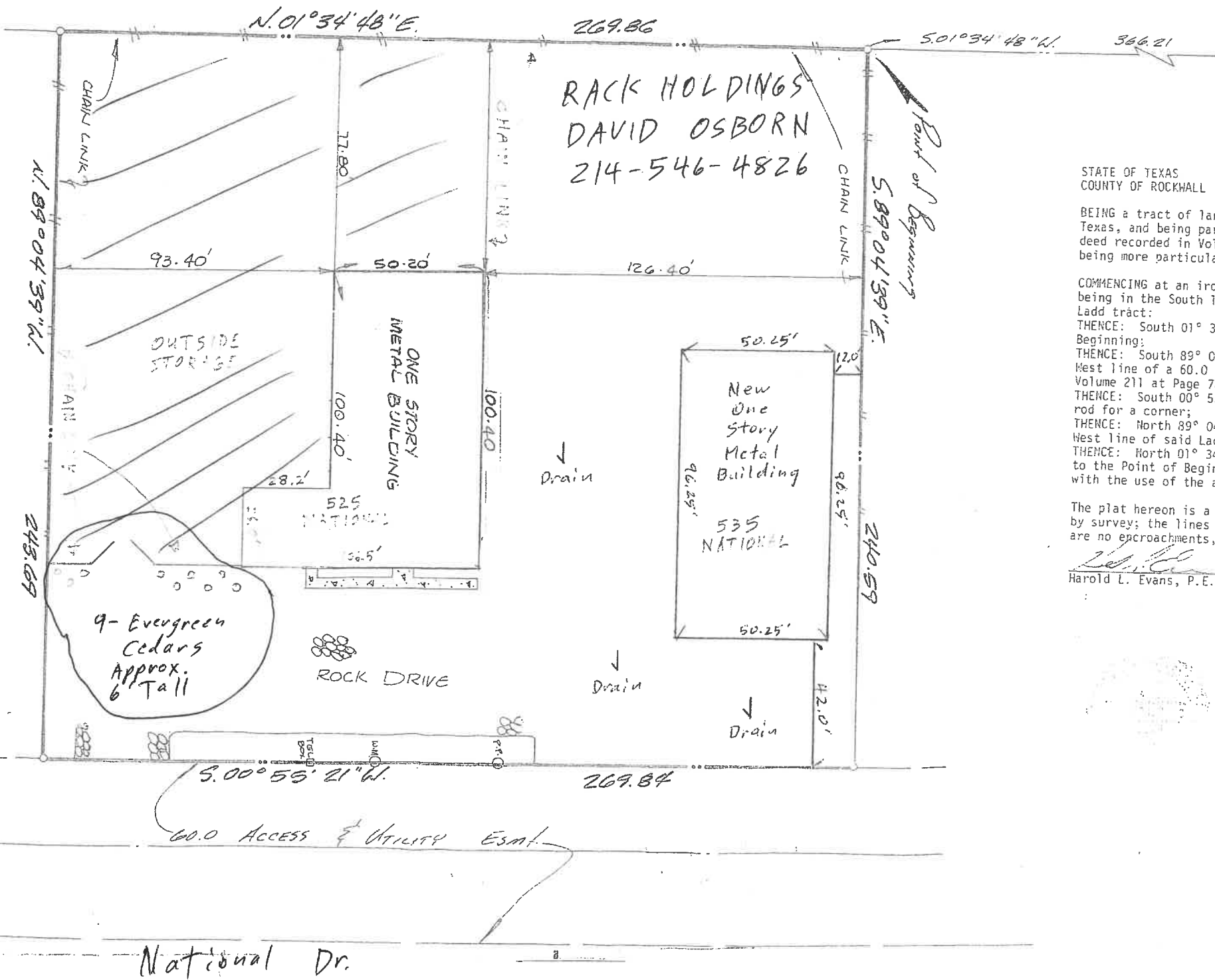


RACK HOLDINGS

David Osborn
214-546-4826

SCALE
1/8" = 1'





BACK HOLDINGS
 DAVID OSBORN
 214-546-4826

STATE OF TEXAS
 COUNTY OF ROCKWALL

BEING a tract of land situated in the J. R. Johnson Survey, Abstract No. 129, Rockwall County, Texas, and being part of a tract of land conveyed to Ladd Properties, Ltd., according to the deed recorded in Volume 189 at Page 65 of the Deed Records of Rockwall County, Texas, and being more particularly described as follows:

COMMENCING at an iron rod for a corner at the Northwest corner of said Ladd tract, said corner being in the South line of Lofland Road (a County Road), also being the North line of said Ladd tract:
 THENCE: South 01° 34' 48" West a distance to 366.21 feet to an iron rod at the Point of Beginning;
 THENCE: South 89° 04' 39" East a distance of 240.59 feet to an iron rod for a corner in the West line of a 60.0 foot wide access & utility easement, according to the deed recorded in Volume 211 at Page 786 of the Deed Records of Rockwall County, Texas;
 THENCE: South 00° 55' 21" West a distance of 269.84 feet along said easement line to an iron rod for a corner;
 THENCE: North 89° 04' 39" West a distance of 243.69 feet to an iron rod for a corner in the West line of said Ladd tract;
 THENCE: North 01° 34' 48" East a distance of 269.86 feet along said West line of Ladd tract to the Point of Beginning and Containing 65,340 Square Feet or 1.500 Acres of Land, together with the use of the above mentioned 60.0 foot wide access & utility easement.

The plat hereon is a true, correct and accurate representation of the property as determined by survey; the lines and dimensions of said property being as indicated by the plat. There are no encroachments, conflicts, or protrusions, except as shown.

Harold L. Evans, P.E., Registered Public Surveyor No. 2146



TO: Planning and Zoning Commission
FROM: Bethany Ross, *Planner*
DATE: May 30, 2023
SUBJECT: MIS2023-006; *Variance for a Front Yard Fence for 1450 Palasades Court*

The applicants, George and Dottie Corder, are requesting the approval of a variance for a front yard fence. The subject property is located on a 0.4037-acre parcel of land (*i.e.* Lot 9, Block M, Caruth Lakes Addition, Phase 7B) addressed as 1450 Palasades Court. The applicant's fence exhibit indicates that the proposed front yard fence will be: [1] constructed using standard cedar fencing materials, [2] be 36-inches in height, and [3] be 50.00% transparent.

According to Article 13, *Definitions*, of the Unified Development Code (UDC), a fence is defined as “(a)ny wall or structure of any material for which the purpose is to provide protection from intrusion, both physical and visual, to prevent escape, mark a boundary, enclose, screen, restrict access to, or decorate any lot, building, or structure.” In addition, Subsection 08.03(D)(2) of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC) states that, “(p)osts, fasteners, and bolts shall be formed from hot dipped galvanized or stainless steel.” and “(n)o fence shall be constructed in the front yard of a residential property without being granted an exception from the Planning and Zoning Commission...” This section goes on to lay out the criteria to be considered by the Planning and Zoning Commission when reviewing exceptions for front yard fences. This criterion is as follows: (a) the fence is to be 50.00% transparent, (b) the fence does not exceed four (4) feet (*or 48-inches*) in height, and (c) opaque fences should be prohibited. In this case, the fence meets most of the requirements for a front yard fence with the exception of the proposed wood posts instead of the stainless-steel posts. This will require a variance to the fence materials by the Planning and Zoning Commission.

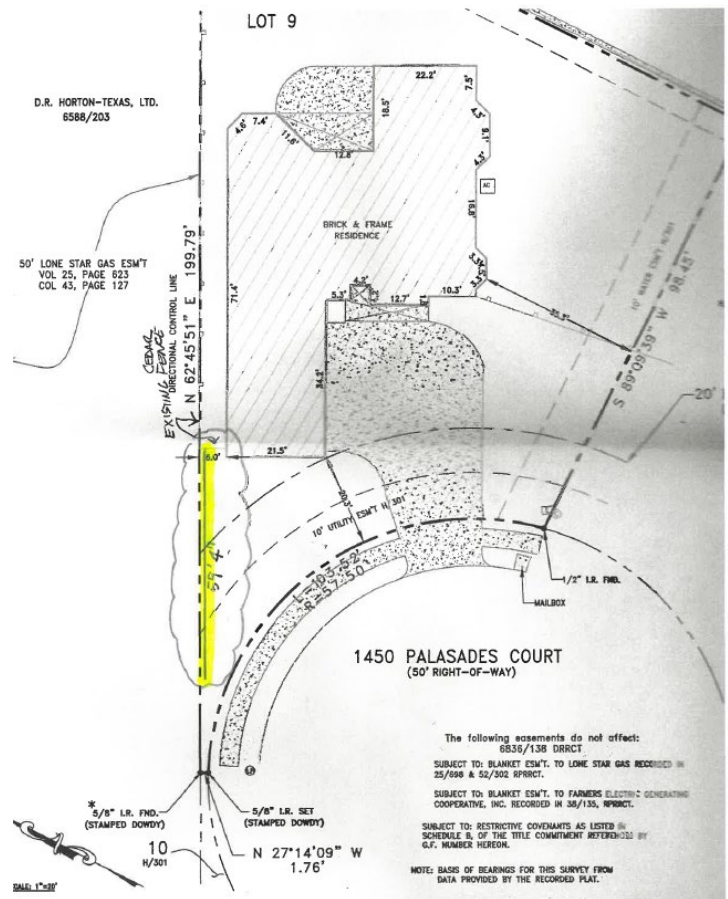


FIGURE 1: PROPOSED FRONT YARD FENCE LOCATION (*HIGHLIGHTED LINE IS THE FENCE LOCATION*)

Staff should note that the front yard fence requirements were written with the intent of restricting front yard fences that completely or partially enclose or impair visibility of the primary structure, and that the applicant's fence *does not* appear to be intended to enclose or impair visibility of the primary structure. In addition, the applicant's property, and the proposed fence, is directly adjacent to a 50-foot open space with a trail running through it. Based on this the proposed front yard fence does not appear to have a negative impact on any other residential property; however, front yard fences are discretionary decisions for the Planning and Zoning Commission. Should the Planning and Zoning Commission have any questions concerning the applicant's request, staff will be available at the meeting on May 30, 2023.

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 5/25/2023

PROJECT NUMBER: MIS2023-006
PROJECT NAME: Front Yard Fence Exception for 1450 Palasades Court
SITE ADDRESS/LOCATIONS: 1450 PALASADES CT

CASE CAPTION: Discuss and consider a request by George and Dottie Corder for the approval of a Miscellaneous Case for an Exception for a front yard fence on a 0.4037-acre parcel of land identified as Lot 9, Block M, Caruth Lakes Addition, Phase 7B, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 5 (PD-5) for Single-Family 7 (SF-7) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, addressed as 1540 Palasades Court, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	05/25/2023	Approved w/ Comments

05/25/2023: -Need letters from franchise company to put fence in utility easement

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	05/22/2023	Approved w/ Comments

05/23/2023: Along with the Special Exception for the front yard fence, they will also need to get approval for wood posts instead of the required metal posts.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	05/23/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	05/23/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	05/23/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Bethany Ross	05/25/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Bethany Ross	05/25/2023	Approved w/ Comments

05/25/2023: MIS2023-006; Variance Request for a Front Yard Fence at 1450 Palasades Court

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request by George and Dottie Corder for the approval of a Miscellaneous Case for an Exception for a front yard fence on a 0.4037-acre parcel of land identified as Lot 9, Block M, Caruth Lakes Addition, Phase 7B, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 5 (PD-5) for Single-Family 7 (SF-7) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, addressed as 1540 Palasades Court.

I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email bross@rockwall.com.

I.3 Subsection 08.03 (D)(2), Fences in the Front Yard, Article 08, Landscape and Fence Standards, of the Unified Development Code (UDC):

Fences in the Front Yard. No fence shall be constructed in the front yard of a residential property without being granted an exception from the Planning and Zoning Commission unless specifically permitted by Subsection 08.03(D)(3). For the purposes of this provision the front yard is defined as the area between the front façade of the primary structure and the front property line. The Planning and Zoning Commission may authorize the issuance of an exception for the construction of a front yard fence subject to the following provisions:

- (a) Wood Fences. Wood fences that are 50% transparent shall not exceed 42-inches in height.
- (b) Wrought Iron or Decorative Metal Fences. Wrought iron or decorative metal fences that are 50% transparent shall not exceed 48-inches in height.
- (c) Opaque Fences. Opaque fences are prohibited in the front yard of residential properties.

I.4 According to Article 13, Definitions, of the Unified Development Code (UDC), a fence is defined as "(a)ny wall or structure of any material for which the purpose is to provide protection from intrusion, both physical and visual, to prevent escape, mark a boundary, enclose, screen, restrict access to, or decorate any lot, building, or structure."

I.5 In this case the applicant is requesting a 36-inch cedar fence that is 50% transparent.

I.6 Please note the scheduled meeting for this case:

- 1) Planning & Zoning Work Session meeting will be held on May 30, 2023 at 6pm in the council chambers at City Hall.

I.7 Staff recommends that a representative be present for the meetings as scheduled above to answer any questions the Commission or Council may have regarding your request. All meetings will be held in person, in the City's Council Chambers, and are scheduled to begin at 6:00 p.m.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS: 1450 PALASADES CT.

SUBDIVISION: CARUTH LAKES PHASE 7B LOT: 9 BLOCK: M

GENERAL LOCATION: N. of 66 at JOHN KING

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING: _____ CURRENT USE: _____

PROPOSED ZONING: _____ PROPOSED USE: _____

ACREAGE: _____ LOTS [CURRENT]: _____ LOTS [PROPOSED]: _____

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> OWNER	<u>GEORGE & DOTTIE CORDER</u>	<input checked="" type="checkbox"/> APPLICANT	<u>SAME</u>
CONTACT PERSON	<u>SAME</u>	CONTACT PERSON	_____
ADDRESS	<u>1450 PALASADES CT</u>	ADDRESS	_____
CITY, STATE & ZIP	<u>ROCKWALL TX 75087</u>	CITY, STATE & ZIP	_____
PHONE	<u>972-877-9576</u>	PHONE	_____
E-MAIL	<u>corderclan25@sbcglobal.net</u>	E-MAIL	_____

NOTARY VERIFICATION [REQUIRED]

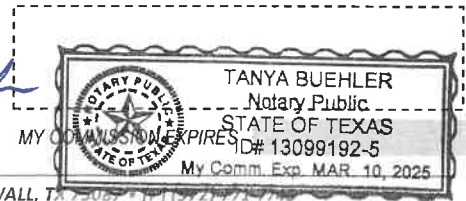
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED George + Dottie Corder [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 100.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 19th DAY OF May, 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 19th DAY OF May, 2023

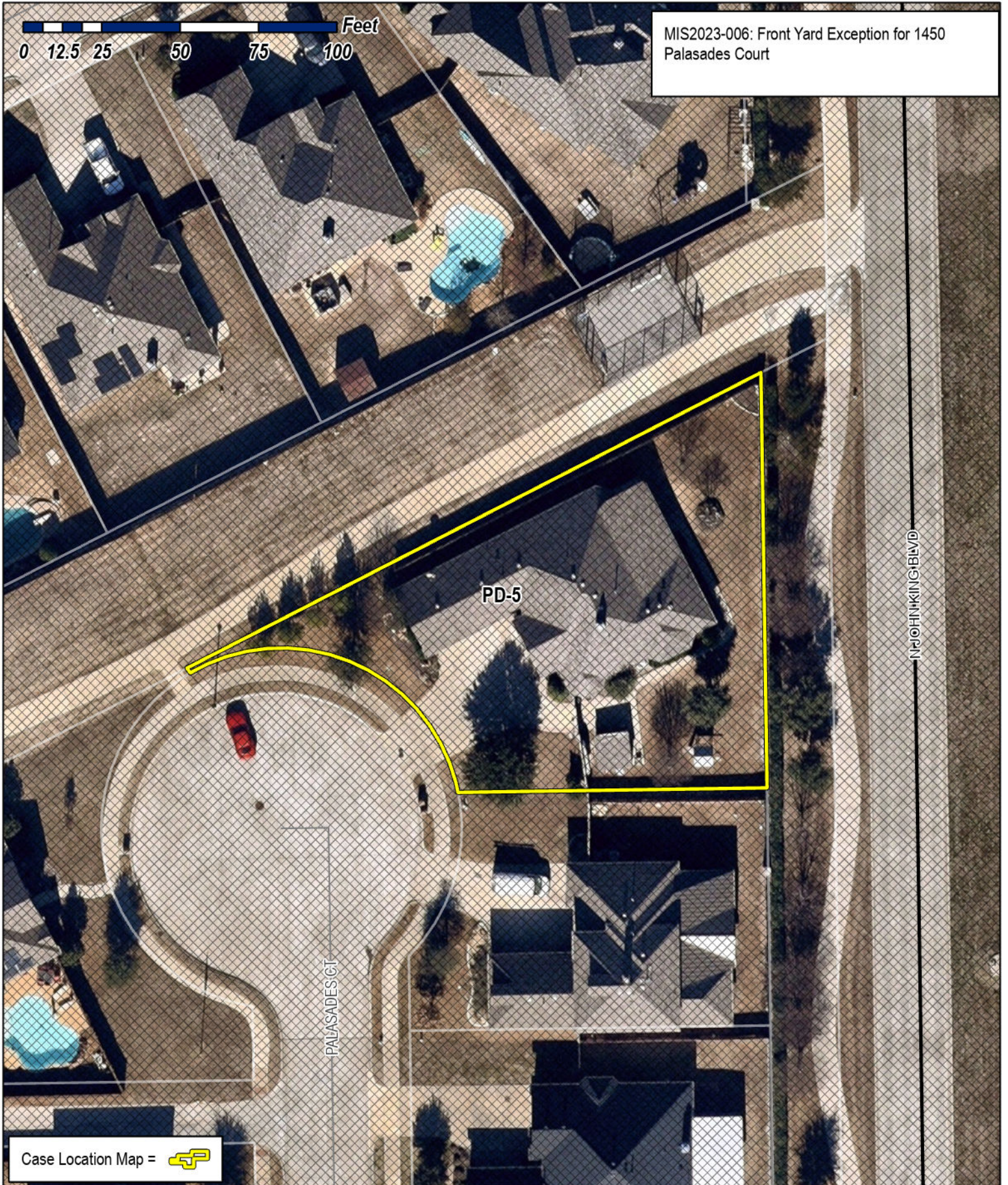
OWNER'S SIGNATURE Dottie Corder George Corder

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Jany Buhn



0 12.5 25 50 75 100 Feet

MIS2023-006: Front Yard Exception for 1450 Palasades Court



Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

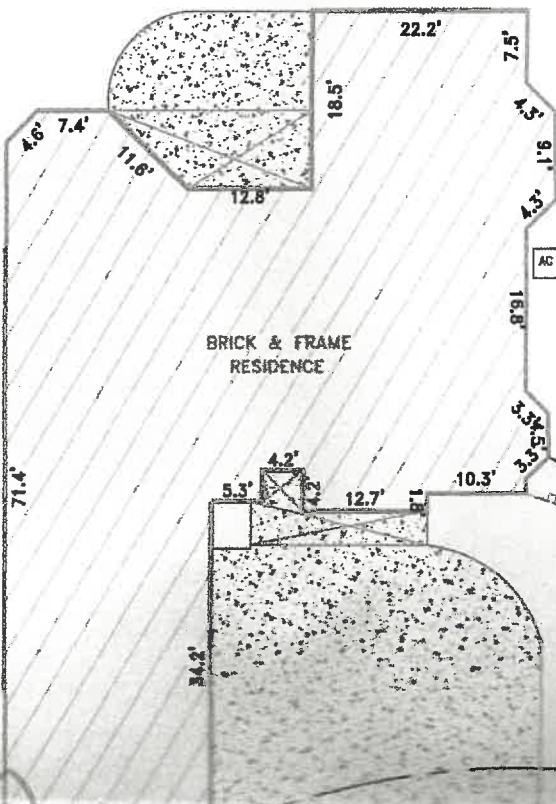


LOT 9

D.R. HORTON-TEXAS, LTD.
6588/203

50' LONE STAR GAS ESM'T
VOL 25, PAGE 623
COL 43, PAGE 127

EXISTING DIRECTIONAL CONTROL LINE
CEDAR FENCE
N 62°45'51" E 199.79'



BRICK & FRAME
RESIDENCE

10' UTILITY ESM'T H 301

1/2" I.R. FND.

MAILBOX

1450 PALASADES COURT
(50' RIGHT-OF-WAY)

The following easements do not affect:
6836/138 DRRCT

SUBJECT TO: BLANKET ESM'T. TO LONE STAR GAS RECORDED IN
25/698 & 52/302 RPRRCT.

SUBJECT TO: BLANKET ESM'T. TO FARMERS ELECTRIC GENERATING
COOPERATIVE, INC. RECORDED IN 38/135, RPRRCT.

SUBJECT TO: RESTRICTIVE COVENANTS AS LISTED IN
SCHEDULE B, OF THE TITLE COMMITMENT REFERENCED BY
G.F. NUMBER HEREON.

NOTE: BASIS OF BEARINGS FOR THIS SURVEY FROM
DATA PROVIDED BY THE RECORDED PLAT.

* 5/8" I.R. FND.
(STAMPED DOWDY)

5/8" I.R. SET
(STAMPED DOWDY)

10
H/301

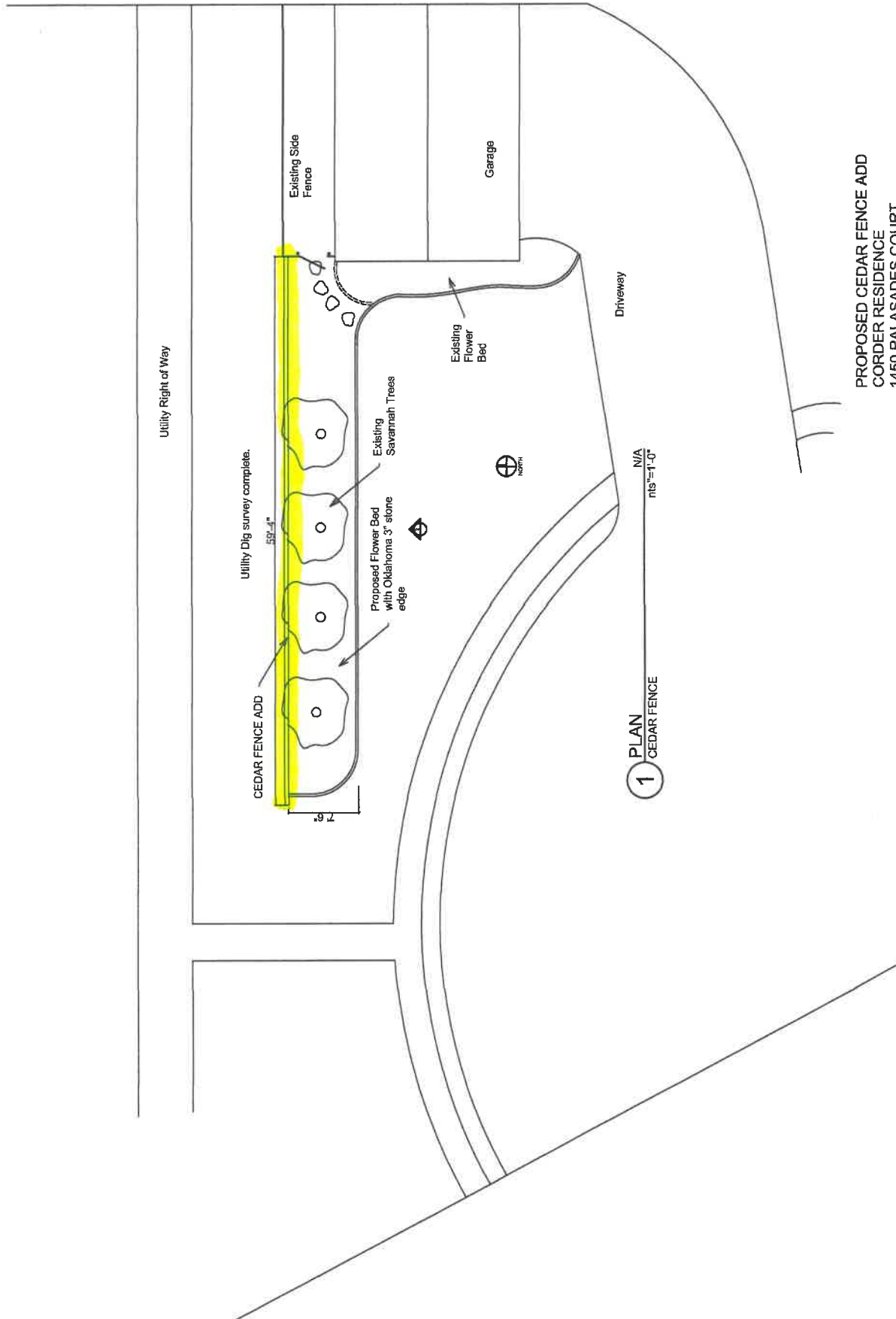
N 27°14'09" W
1.76'

SCALE: 1"=20'

PROPERTY DESCRIPTION: Lot 9, Block M, Caruth Lakes, Phase 7B, an addition to the City of Rockwall, Rockwall County, Texas, according to the Map or Plat thereof recorded in Cabinet H, Slides 255-256 and the replat recorded in Cabinet H, Slides 301-302 of the Plat Records of Rockwall County, Texas.

SURVEYOR'S STATEMENT:

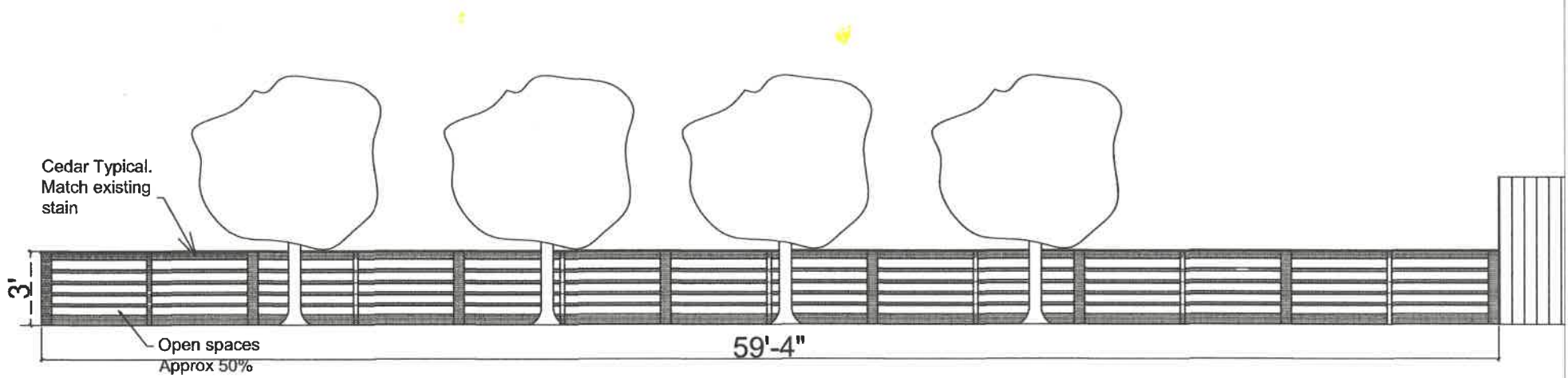
The undersigned Registered Professional Land Surveyor has prepared this survey for the exclusive use of the hereon named home builder and title company only. The undersigned acknowledges that; this survey was conducted by the surveyor or under his supervision on the date shown hereon; this plat of survey and the property description set forth hereon are an accurate representation of facts found at the time of an actual on-the-ground survey; there are no visible, above ground encroachments, or protrusions, except as shown.



1 PLAN
CEDAR FENCE

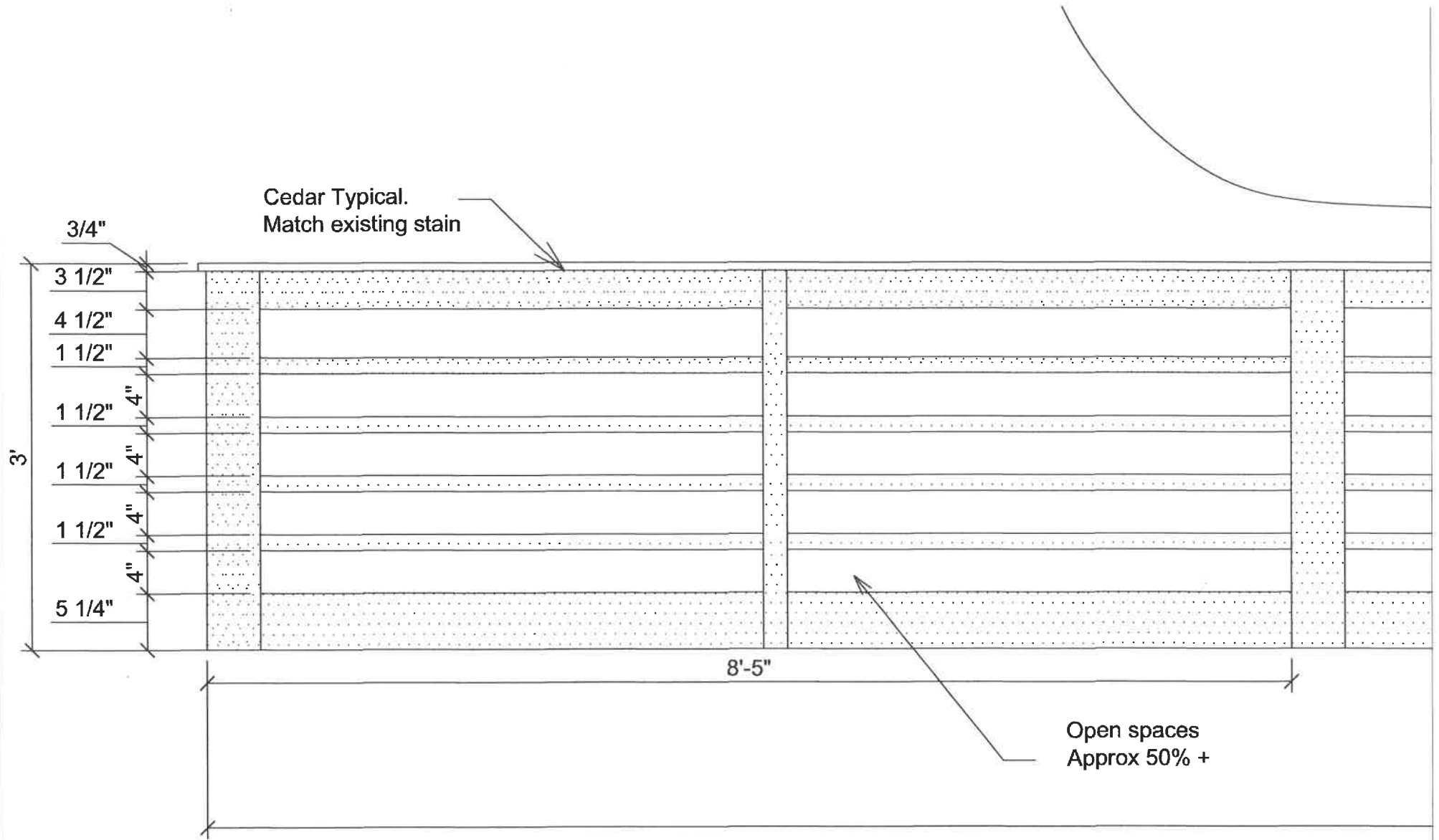
N/A
nts"=1'-0"

PROPOSED CEDAR FENCE ADD
CORDER RESIDENCE
1450 PALASADES COURT
ROCKWALL, TX 75087



2 ELEVATION
CEDAR FENCE

N/A
nls"=1'-0"



ELEVATION

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 5/25/2023

PROJECT NUMBER: Z2023-024
PROJECT NAME: Residential Infill at 311 Valiant Drive
SITE ADDRESS/LOCATIONS: 311 VALIANT DR

CASE CAPTION: Hold a public hearing to discuss and consider a request by Chris Curra for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.1278-acre parcel of land identified as Lot 6, Block C, Chandler's Landing #16 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for zero lot line homes, addressed as 311 Valiant Drive, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Angelica Guevara	05/25/2023	Approved w/ Comments

05/25/2023: Z2023-024; Specific Use Permit (SUP) for Residential Infill for 311 Valiant Drive
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This request is for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.1278-acre parcel of land identified as Lot 6, Block C, Chandler's Landing #16 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for zero lot line homes, addressed as 311 Valiant Drive.

I.2 For questions or comments concerning this case please contact Angelica Guevara in the Planning Department at (972) 772-6438 or email aguevara@rockwall.com.

M.3 For reference, include the case number (Z2023-024) in the lower right-hand corner of all pages on future submittals.

M.4 Please show a 0' side setback on the south side and a 10-foot side setback on the north side of the site plan.

I.5 According to Subsection 02.03(B) (11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), an Established Subdivision is defined as any subdivision that [1] consists of five (5) or more lots, [2] that is 90% or more developed, and [3] that has been in existence for more than ten (10) years. In this case, the subject property is located within the Lake Rockwall Estates Subdivision, which is 90% or more developed, consists of five (5) or more lots, and has been in existence for more than 10 years.

I.6 Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), states that "(i)n reviewing the Specific Use Permit (SUP), the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing in the Established Subdivision ... [and] all housing proposed under this section shall be constructed to be architecturally and visually similar or complimentary to the existing housing in the Established Subdivision."

I.7 According to Subsection 04.01(B), Lots Less Than Five Acres, of Article 06, Parking and Loading, garages located in single family districts must be located 20-feet behind the front façade of the building. In the current request, the garage is setback approximately two (2) feet from the front façade of the home. While this is not uncharacteristic of the surrounding area, this will be a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

I.8 According to Subsection 03.01(A), General Residential District Standards of Article 05, District Development Standards, all residential structures shall be constructed with a minimum 3:12 roof pitch. In this case, the applicant is requesting a single-family home with a flat roof which is not in conformance with our standards.

M.9 Please review the attached Draft Ordinance prior to the May 30, 2023 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than June 7, 2023.

I.10 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on June 7, 2023; however, it is encouraged for applicants to submit revisions as soon as possible to give staff

ample time to review the case prior to the June 13, 2023 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on May 30, 2023.

I.11 The projected City Council meeting dates for this case will be June 19, 2023 [1st Reading] and July 17, 2023 [2nd Reading].

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	05/25/2023	Needs Review

05/25/2023: Must locate sewer line and maintain 7.5' clear space to the line. Show manholes on plan.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	05/22/2023	Needs Review

05/23/2023: SIDE SETBACK ON THE NORTH SIDE OF THE PROPERTY MUST BE 10'. SOUTH SIDE HAS A 0' SIDE SETBACK

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	05/23/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	05/23/2023	Approved

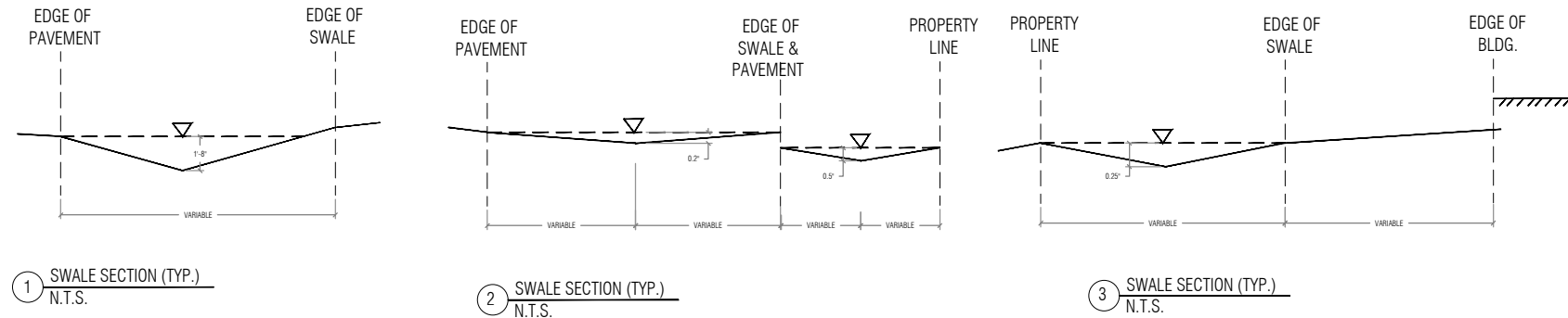
No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	05/16/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	05/22/2023	Approved

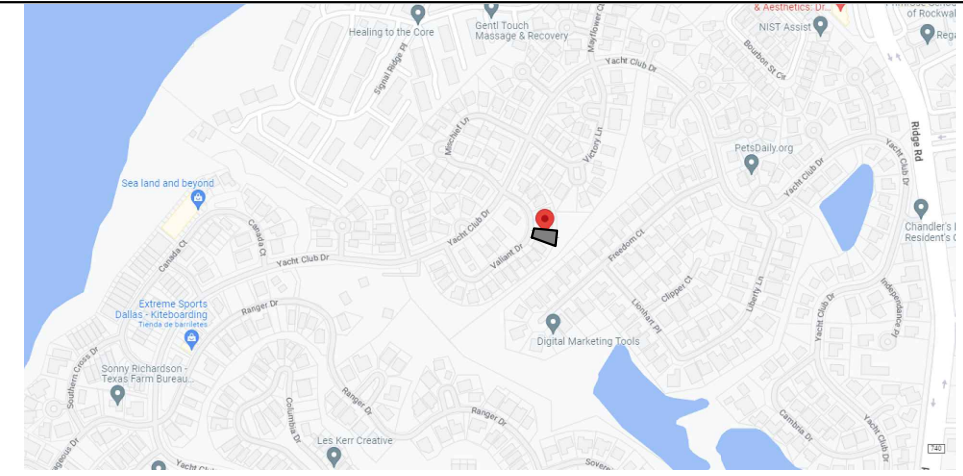
No Comments



1 SWALE SECTION (TYP.)
N.T.S.

2 SWALE SECTION (TYP.)
N.T.S.

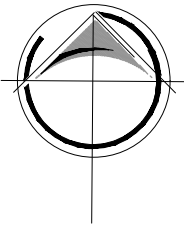
3 SWALE SECTION (TYP.)
N.T.S.



VICINITY MAP
FOR REFERENCE ONLY

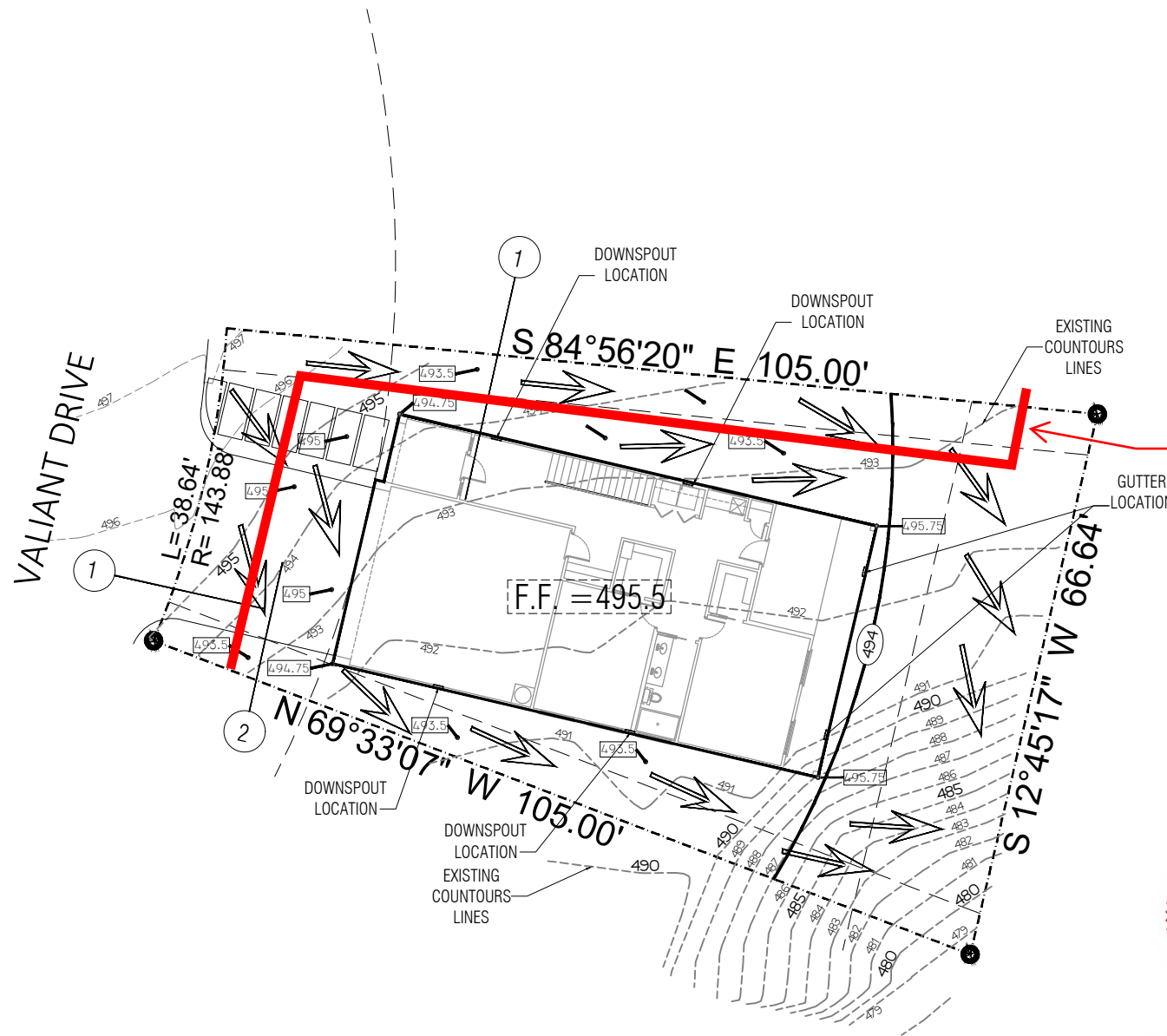
LEGAL DESCRIPTION:
CHANDLERS LANDING #16 &
REPLAT, BLOCK C, LOT 6
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

NORTH



LEGEND

- DRAINAGE/GRADING DIRECTION
- 505 EXISTING CONTOUR LINE
- PROPERTY LINE
- 505 PROPOSED CONTOUR LINE
- 505 PROPOSED SPOT ELEVATION



Must locate sewer line and maintain 7.5' clear space to the line. Show manholes on plan.

GENERAL DRAINAGE NOTES

- A. GRADING AND DRAINAGE SHALL NOT ADVERSELY IMPACT SURROUNDING PROPERTIES.
- B. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET. EXCEPTION: WHERE LOT LINES, WALLS, SLOPES, OR OTHER PHYSICAL BARRIERS PROHIBIT 6 INCHES OF FALL WITHIN 10 FEET, THE FINAL GRADE SHALL SLOPE AWAY FROM THE FOUNDATION AT MINIMUM SLOPE OF 5 PERCENT AND THE WATER SHALL BE DIRECTED TO DRAINS OR SWALES TO ENSURE DRAINAGE AWAY FROM THE THE STRUCTURE. SWALES SHALL BE SLOPED A MINIMUM OF 2 PERCENT WHEN LOCATED WITHIN 10 FEET OF THE BUILDING FOUNDATION. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BULDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2 PERCENT AWAY FROM THE BULDING.
- C. ALL DRAINAGE SWALES SHALL BE LOCATED ENTIRELY ON THIS LOT.



Xavier Chapa
Xavier Chapa Engineering/Surveying
Firm Number F-9156

04/13/2023

DRAINAGE/GRADING PLAN 1.2
SCALE: 1'-0" = 20'-00"

311 VALIANT DR,
ROCKWALL, TX 75032

PAGE TITLE: DRAINAGE/GRADING PLAN
SCALE: 1'-0" = 20'-00"
DATE: 4/13/2023
PAGE: 1.2

THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THIS STRUCTURE. THESE PLANS MUST BE VERIFIED AND CHECKED BY THE BUILDER, HOMEOWNER, AND ALL CONTRACTORS OF THIS JOB PRIOR TO CONSTRUCTION. THE BUILDER, HOMEOWNER, AND ALL CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR OBTAINING ALL FEDERAL, STATE, AND LOCAL CODES AND RESTRICTIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS. GREAT CARE AND EFFORT HAVE GONE INTO THE CREATION OF THESE BLUEPRINTS. HOWEVER, BECAUSE OF THE VARIANCE IN GEOGRAPHIC LOCATIONS, DESIGNER, WILL NOT ASSUME LIABILITY FOR ANY DAMAGES DUE TO ERRORS, OMISSIONS, OR DEFICIENCIES ON THESE PLANS. OWNER/BUILDER MUST COMPLY WITH LOCAL BUILDING CODES PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE BUILDER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR OBTAINING ALL FEDERAL, STATE, AND LOCAL CODES AND RESTRICTIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS. ANY COPYING, TRACING, OR ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. Z2023-024

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS

311 Valiant Dr.

SUBDIVISION

Chandlers Landing

LOT

6

BLOCK

C

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

PD-8

CURRENT USE

Residential

PROPOSED ZONING

PROPOSED USE

ACREAGE

0.1278

LOTS [CURRENT]

LOTS [PROPOSED]

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB316Z THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER

Chris Curra

APPLICANT

Chris Curra

CONTACT PERSON

Chris Curra

CONTACT PERSON

Chris Curra

ADDRESS

2975 Blackburn St.
#1321

ADDRESS

2975 Blackburn St.
#1321

CITY, STATE & ZIP

Dallas TX 75204

CITY, STATE & ZIP

Dallas TX 75204

PHONE

512 785 3518

PHONE

512 785 3518

E-MAIL

chriscurra@gmail.com

E-MAIL

chriscurra@gmail.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Christopher Curra [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____, TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

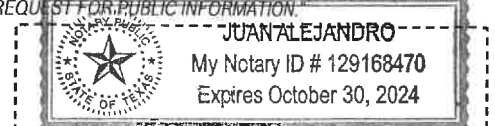
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 10th DAY OF May, 2023.

OWNER'S SIGNATURE

[Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

[Signature]



MY COMMISSION EXPIRES

Oct 30th, 2024

0 25 50 100 150 200 Feet

Z2023-024; Specific Use Permit for Residential Infill at 311 Valiant Drive



PD-8

Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

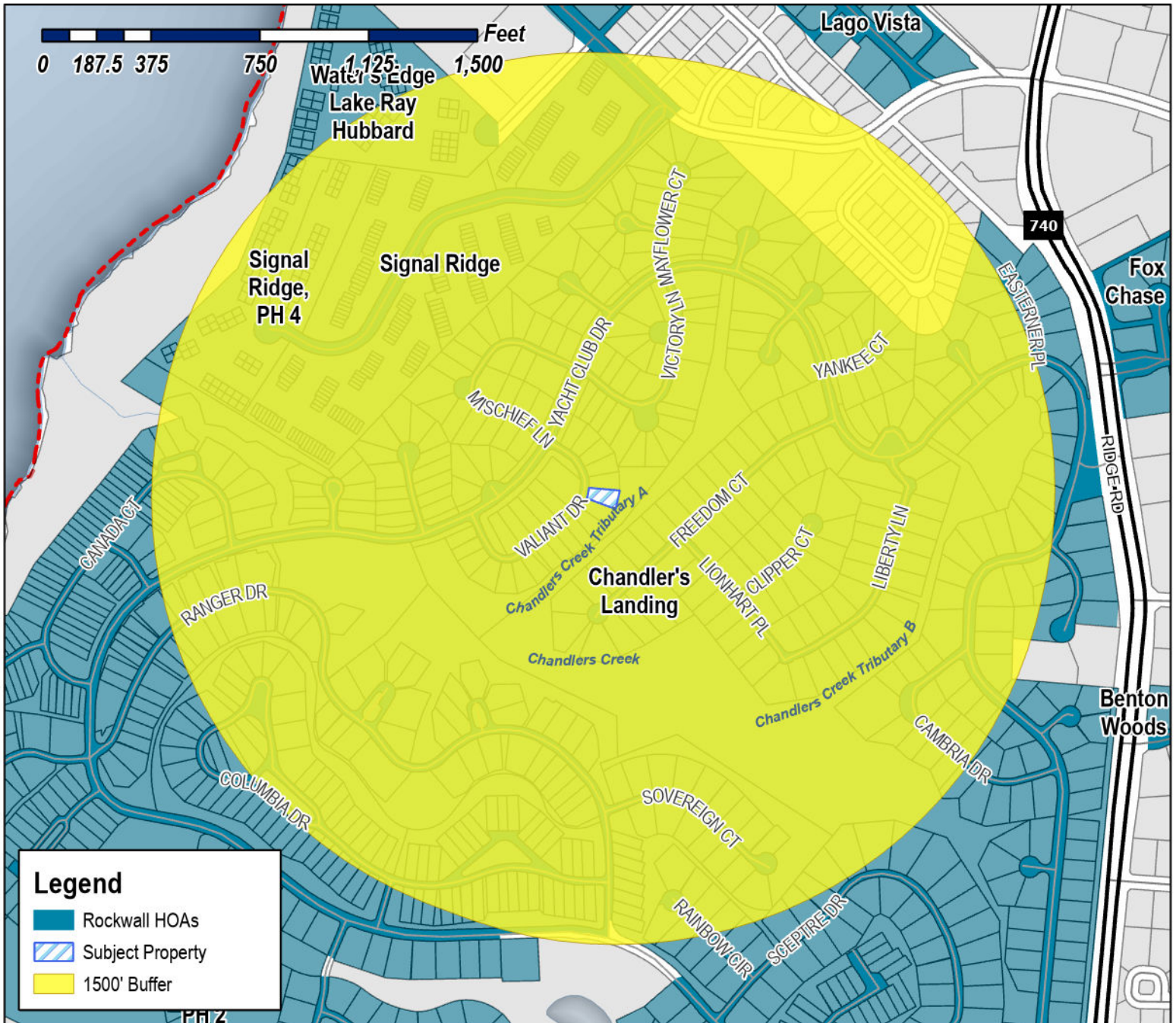




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2023-024
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 8 (PD-8)
Case Address: 311 Valiant Drive

Date Saved: 5/23/2023
 For Questions on this Case Call (972) 771-7745



Guevara, Angelica

From: Zavala, Melanie
Sent: Tuesday, May 23, 2023 3:20 PM
Cc: Miller, Ryan; Ross, Bethany; Lee, Henry; Guevara, Angelica
Subject: Neighborhood Notification Program [Z2023-024]
Attachments: Public Notice (05.23.2023).pdf; HOA Map (05.23.2023).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on May 26, 2023. The Planning and Zoning Commission will hold a public hearing on Tuesday, June 13, 2023 at 6:00 PM, and the City Council will hold a public hearing on Monday, June 19, 2023 at 6:00 PM. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2023-024: SUP for Residential Infill at 311 Valiant Drive

Hold a public hearing to discuss and consider a request by Chris Curra for the approval of a *Specific Use Permit (SUP) for Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.1278-acre parcel of land identified as Lot 6, Block C, Chandler's Landing #16 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for zero lot line homes, addressed as 311 Valiant Drive, and take any action necessary.

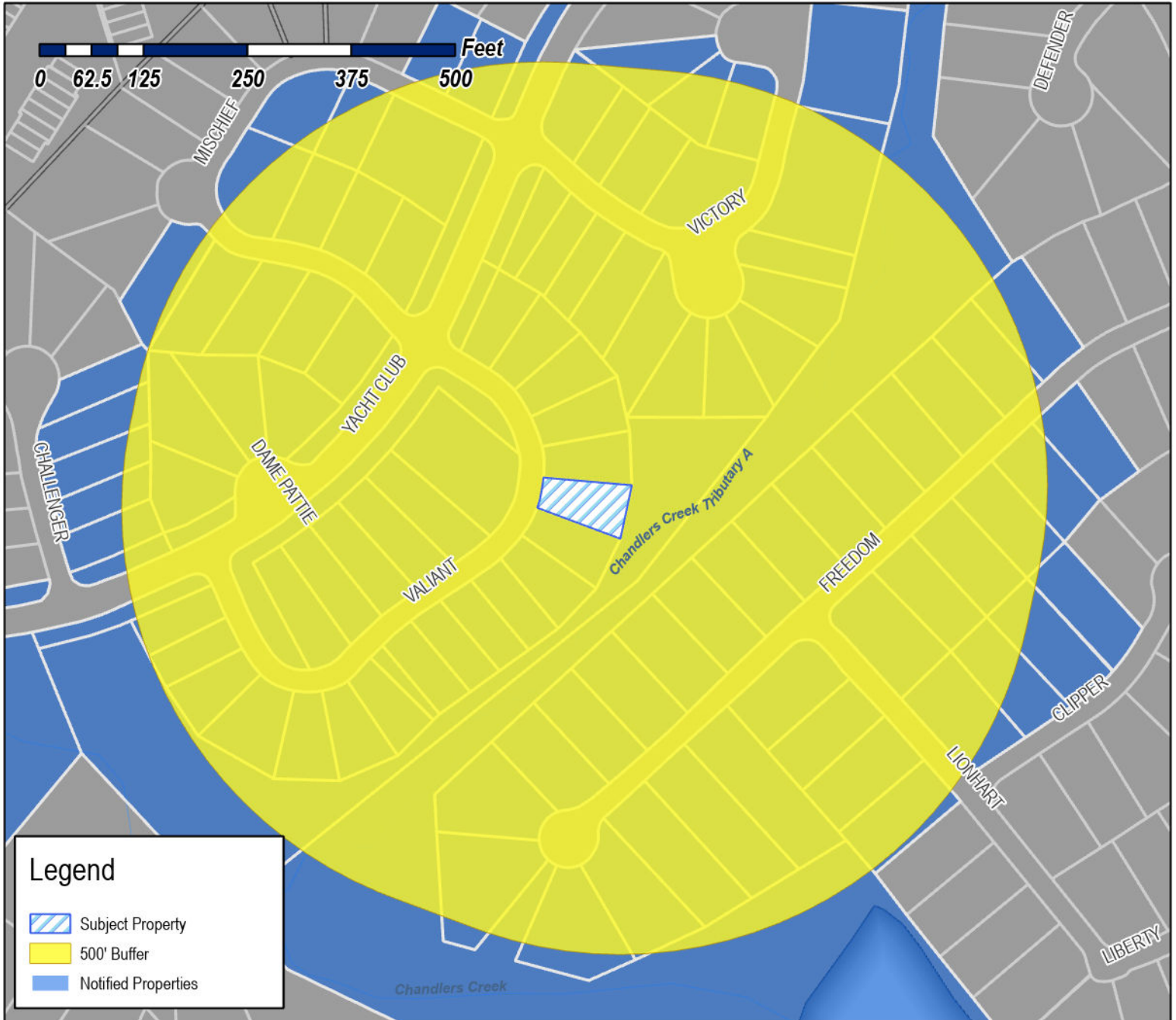
Thank You,
Melanie Zavala
Planning Coordinator
City of Rockwall Planning & Zoning
385 S. Goliad Street
Rockwall, TX 75087
Office: 972-771-7745
Direct: 972-771-6568




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Legend

-  Subject Property
-  500' Buffer
-  Notified Properties

Case Number: Z2023-024
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 8 (PD-8)
Case Address: 311 Valiant Drive

Date Saved: 5/23/2023
 For Questions on this Case Call: (972) 771-7746



GOODMAN CARLA
101 DAME PATTIE DR
ROCKWALL, TX 75032

HUNTER STEVEN R AND KAREN J
102 DAME PATTIE DRIVE
ROCKWALL, TX 75032

HALL CORI
102 MISCHIEF LANE
ROCKWALL, TX 75032

RESIDENT
103 DAME PATTIE
ROCKWALL, TX 75032

FAYAD HUSSAIN
104 DAME PATTIE DRIVE
ROCKWALL, TX 75032

CARR LORI
104 MISCHIEF LN
ROCKWALL, TX 75032

SPOKES JULIE
105 CLIPPER COURT
ROCKWALL, TX 75032

JOHNSON ROBERT & DOLORES
105 MISCHIEF LN
ROCKWALL, TX 75032

HARTFIELD THOMAS E & EDITH E
109 CLIPPER CT
ROCKWALL, TX 75032

HAGIN GARY L & W ANNE
109 MISCHIEF LN
ROCKWALL, TX 75032

RESIDENT
113 CLIPPER CT
ROCKWALL, TX 75032

YU DAVIS & HYUN SOOK
115 FREEDOM CT
ROCKWALL, TX 75032

ROGERS RYAN
117 CLIPPER COURT
ROCKWALL, TX 75032

CUMMINGS ATANIA ROLDAN AND ERIC JOSEPH
118 FREEDOM COURT
ROCKWALL, TX 75032

PUSTEJOVSKY MARK
11875 CR 4026
KEMP, TX 75143

JONES FELICIA M
119 FREEDOM COURT
ROCKWALL, TX 75032

HPA II TEXAS SUB 2019-1 LLC
120 SOUTH RIVERSIDE PLAZA SUITE 2000
CHICAGO, IL 60606

RESIDENT
122 FREEDOM CT
ROCKWALL, TX 75032

THOMAS ALAN AND DANA
123 FREEDOM COURT
ROCKWALL, TX 75032

MONTOYA ASHLEY R & JOSE L
124 MISCHIEF LANE
ROCKWALL, TX 75032

RESIDENT
125 MISCHIEF LN
ROCKWALL, TX 75032

BOLES ALAN L & DANA M
126 FREEDOM CT
ROCKWALL, TX 75032

LOPEZ CHRIS MARK AND ASHLEY MARIE
126 MISCHIEF LN
ROCKWALL, TX 75087

SNIDER MICHAEL AND CASSANDRA
127 FREEDOM CT
ROCKWALL, TX 75032

MARTIN NAN YI
127 MICHIEF LANE
ROCKWALL, TX 75032

HALAMA STEVEN
128 MISCHIEF LN
ROCKWALL, TX 75032

MANSFIELD PHYLLIS J
129 MISCHIEF LANE
ROCKWALL, TX 75032

BILLITER MARGARET AND ROGER
130 FREEDOM CT
ROCKWALL, TX 75032

HARGROVE PATRICIA ANN
130 MISCHIEF LANE
ROCKWALL, TX 75032

WALTON ALLEN NICK & WANDA JEAN
131 FREEDOM CT
ROCKWALL, TX 75032

CHURY JENNIFER LEIGH & BRIAN D
131 MISCHIEF LANE
ROCKWALL, TX 75032

RESIDENT
132 MISCHIEF LN
ROCKWALL, TX 75032

COFFEE CHARLES C AND DEBRA P
134 FREEDOM CT
ROCKWALL, TX 75032

ROBISON BRUCE EMERSON
135 FREEDOM COURT
ROCKWALL, TX 75032

ROGERS SHAWN A & BRENDA
138 FREEDOM CT
ROCKWALL, TX 75032

RESIDENT
139 FREEDOM CT
ROCKWALL, TX 75032

JOHNSON TIFFANY MICHELLE
148 OXFORD DR
HEATH, TX 75032

2019-1 IH BORROWER LP
1717 MAIN SST SUITE 2000
DALLAS, TX 75201

BAXTER ERIKA LEE GARDNER AND SCOTT
201 FREEDON CT
ROCKWALL, TX 75032

KOCUREK MICHELLE
205 FREEDOM COURT
ROCKWALL, TX 75032

LANE LAWRENCE DALE & HARRIETT B
209 FREEDOM COURT
ROCKWALL, TX 75032

MORRISON MICHAEL JARED AND
SARAH MARIE GOOCH
210 FREEDOM CT
ROCKWALL, TX 75032

MONKRESS MONTE R & MARGARET D
213 FREEDOM CT
ROCKWALL, TX 75032

GENTZEL DUSTIN AND SHANA
214 FREEDOM COURT
ROCKWALL, TX 75032

NORRIS KIMBERLY S
217 FREEDOM CT
ROCKWALL, TX 75032

WILLIAMS HARRY E & MARGARET
218 FREEDOM CT
ROCKWALL, TX 75032

MCCASKILL KRISTOFER
221 FREEDOM COURT
ROCKWALL, TX 75032

AGNEW MICHAEL THOMAS AND KARLA KAY
222 FREEDOM COURT
ROCKWALL, TX 75032

DUNCAN FRANK T AND NORMA E
224 LIONHART PLACE
ROCKWALL, TX 75032

LUCIANO ANTHONY
225 FREEDOM COURT
ROCKWALL, TX 75032

BELL LINDA W
226 FREEDOM CT
ROCKWALL, TX 75032

HOLLIS CODY JONATHAN
228 LIONHART PLACE
ROCKWALL, TX 75032

TONICK MICHAEL D & JANET A
229 FREEDOM CT
ROCKWALL, TX 75032

NASH TERRY L & MARGARET SPEAR
232 LIONHART PL
ROCKWALL, TX 75032

MOLTZAN HERBERT J & JANET R
236 LIONHART PL
ROCKWALL, TX 75032

AMH 2014-2 BORROWER LLC
23975 PARK SORRENTO SUITE 300
CALABASAS, CA 91302

ODOM LACEY AND JOSH
2402 YACHT CLUB DR
ROCKWALL, TX 75032

RESIDENT
257 VICTORY LN
ROCKWALL, TX 75032

RESIDENT
264 VICTORY LN
ROCKWALL, TX 75032

STUBBLEFIELD SUSAN
268 VICTORY LN
ROCKWALL, TX 75032

FRANCISCO CAROLYN ELLISON
272 VICTORY LN
ROCKWALL, TX 75032

DEMARS GREGORY SCOTT AND
CYNTHIA LEE FLOYD
281 VICTORY LANE
ROCKWALL, TX 75032

HALL JASON M & CORI M
284 VICTORY LN
ROCKWALL, TX 75032

BROWN TERRI LYNN
285 VICTORY LN
ROCKWALL, TX 75032

BYRUM CURTIS R AND SUSAN L
289 VICTORY LN
ROCKWALL, TX 75032

JOHNSON DAVID
291 VICTORY LN
ROCKWALL, TX 75032

WOOD JOHN S & LISA MARIE
293 VICTORY LN
ROCKWALL, TX 75032

RESIDENT
295 VICTORY LN
ROCKWALL, TX 75032

SEEDS DAVID R
2961 S CHERRY WAY
DENVER, CO 80222

LYNN JASON AND DANIELLE
297 VICTORY LANE
ROCKWALL, TX 75032

CURRA CHRISTOPHER
2975 BLACKBURN ST APT 1019
DALLAS, TX 75204

PERRY GEORGE DAVID & SANDRA SUE
299 VICTORY LN
ROCKWALL, TX 75032

RIVERA LUIS
300 S WATTERS RD APT 127
ALLEN, TX 75103

MIRFENDERESKI JONAH JAVAD AND
NALINA MICHELLE SHAPIRO
301 VALIANT DRIVE
ROCKWALL, TX 75032

RESIDENT
303 VALIANT DR
ROCKWALL, TX 75032

HALL TABITHA AMY AND
TERESA ADAMS
305 VALIANT DR
ROCKWALL, TX 75032

RESIDENT
306 VICTORY LN
ROCKWALL, TX 75032

SANFORD TIMOTHY & KELLE
307 VALIANT DRIVE
ROCKWALL, TX 75032

MCNAIR KELLY
307 VICTORY LN
ROCKWALL, TX 75032

RESIDENT
309 VALIANT DR
ROCKWALL, TX 75032

RESIDENT
310 VICTORY LN
ROCKWALL, TX 75032

RESIDENT
311 VALIANT DR
ROCKWALL, TX 75032

LOVELESS JERRY L & TOMMIE H
313 VALIANT DR
ROCKWALL, TX 75032

SMITH JOSHUA AND
MAEGAN HOLLOWAY
314 VALIANT DR
ROCKWALL, TX 75032

MAY DEBRA AND RODNEY
314 VICTORY LN
ROCKWALL, TX 75032

JOHNSTON CAROLINE
315 VALIANT DR
ROCKWALL, TX 75032

LOREDO SARAHI
315 VICTORY LN
ROCKWALL, TX 75032

RESIDENT
317 VALIANT DR
ROCKWALL, TX 75032

MURPHY CASEY D AND BRIANNA
318 VALIANT DRIVE
ROCKWALL, TX 75032

COPPLER GERALD
319 VALIANT DR
ROCKWALL, TX 75032

HANSEN JOSH AND
RACHEL THORNQUIST
320 VALIANT DRIVE
ROCKWALL, TX 75032

BLASINGAME DAVID A AND LISA M HOUCHIN
321 VALIANT DR
ROCKWALL, TX 75032

CONDIT TINA
322 VALIANT DRIVE
ROCKWALL, TX 75032

OWENS MICHAEL V
323 VALIANT DR
ROCKWALL, TX 75032

RESIDENT
324 VALIANT DR
ROCKWALL, TX 75032

ROGERS JACY MARIE AND FRANK MARION
325 VALIANT DRIVE
ROCKWALL, TX 75032

RESIDENT
326 VALIANT DR
ROCKWALL, TX 75032

GENERAL DALE A & KATHRYN
327 VALIANT DR
ROCKWALL, TX 75032

IMBURGIA JAMES
329 VALIANT DR
ROCKWALL, TX 75032

STORY BRIAN K AND LANA K
331 VALIANT DRIVE
ROCKWALL, TX 75032

LE TAN T AND VIRGINIA I
333 VALIANT DR
ROCKWALL, TX 75032

DANIEL SANDRA SUE
335 VALIANT DR
ROCKWALL, TX 75032

RESIDENT
337 VALIANT DR
ROCKWALL, TX 75032

SMITH THOMAS M
443 CHIPPENDALE DR
ROCKWALL, TX 75032

BRACK KENYATTA AND SELEAN TURNER
4501 YACHT CLUB DRIVE
ROCKWALL, TX 75032

HARMON H VICTOR
519 E INTERSTATE 30 PMB 212
ROCKWALL, TX 75087

ROSHAN KC
5335 BROADWAY BLVD #210
GARLAND, TX 75043

MARSHALL SAMUEL AND DIANA
5502 CHALLENGER CT
ROCKWALL, TX 75032

MCKAY ADRIAN AND ROBERTA
5504 CHALLENGER CT
ROCKWALL, TX 75032

RESIDENT
5506 CHALLENGER CT
ROCKWALL, TX 75032

NORTON ANGELA
5508 CHALLENGER CT
ROCKWALL, TX 75032

BRADSHAW ADRIAN
5510 CHALLENGER COURT
ROCKWALL, TX 75032

DEFRANCO JOHN S & DIANE B
5710 SOUTHERN CROSS DR
ROCKWALL, TX 75032

HENDRICKS LORI L
5903 VOLUNTEER PL
ROCKWALL, TX 75032

MCKINSTRY FRITZ AND KATHY LIVING TRUST
634 COURAGEOUS DR
ROCKWALL, TX 75032

THOMAS VELIA
7317 LOUGHEED PLZ
PLANO, TX 75025

MCMINN KIMBERLY
PMB 239 11654 PLAZA AMERICA DR
RESTON, VA 20190

KJT FLYING PROPERTIES LLC
PO BOX 1476
ROCKWALL, TX 75087

CHANDLERS LANDING COMMUNITY ASSOC
PO BOX 638
ROCKWALL, TX 75087

CHANDLERS LANDING COMMUNITY ASSOC
PO BOX 638
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2023-024: SUP for Residential Infill

Hold a public hearing to discuss and consider a request by Chris Curra for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.1278-acre parcel of land identified as Lot 6, Block C, Chandler's Landing #16 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for zero lot line homes, addressed as 311 Valiant Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, June 13, 2023 at 6:00 PM, and the City Council will hold a public hearing on Monday, June 19, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Angelica Guevara
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, June 19, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2023-024: SUP for Residential Infill

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

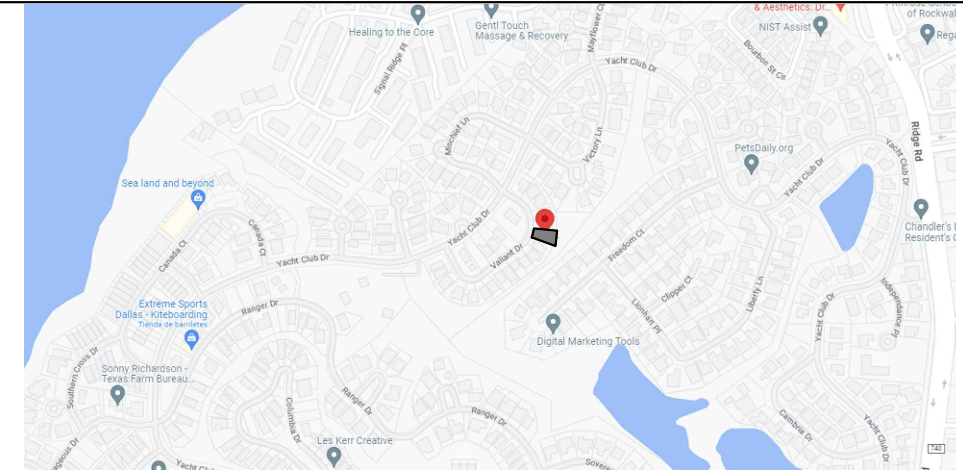
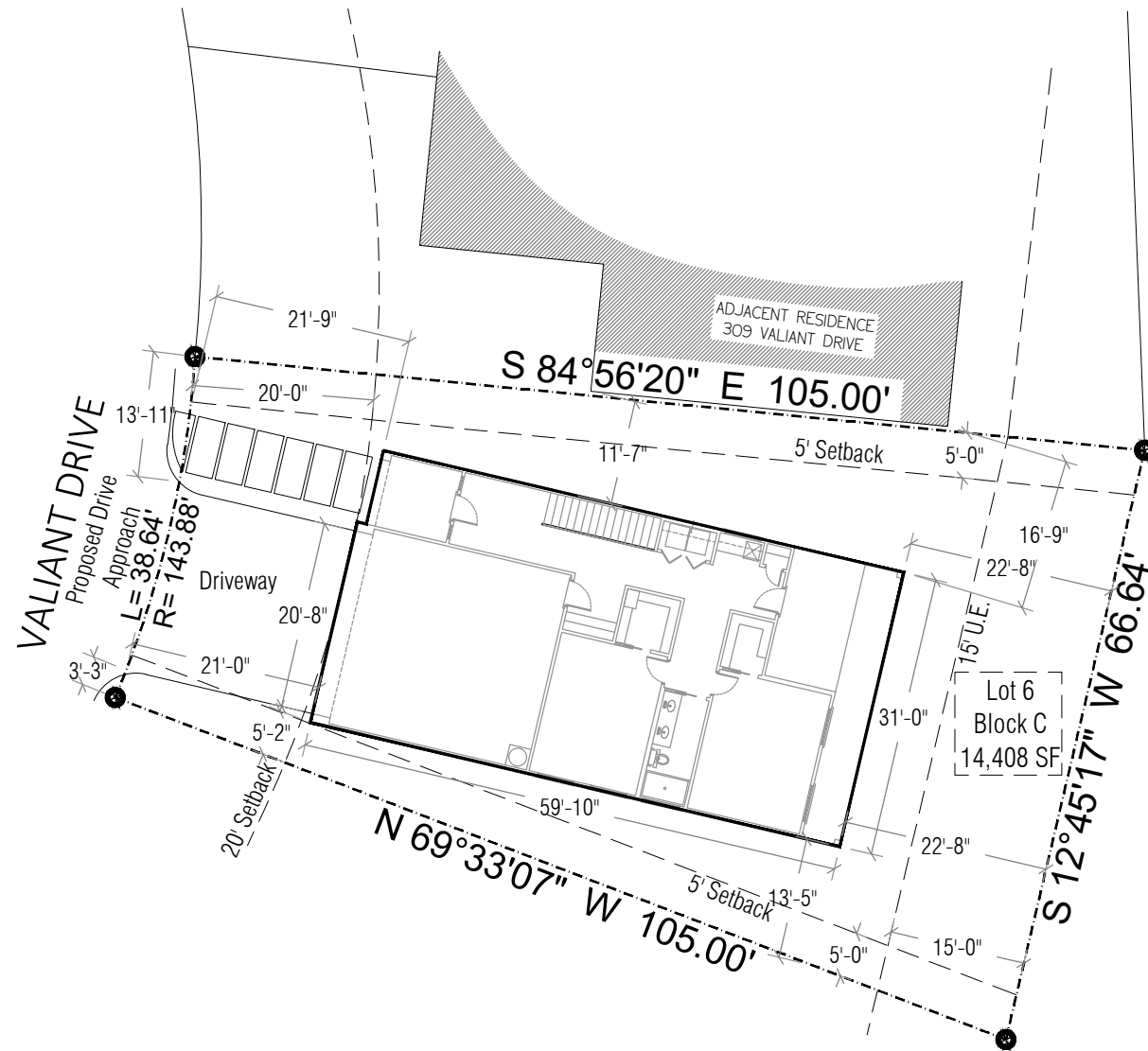
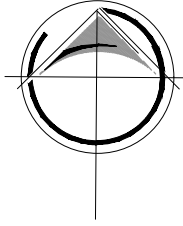
Four horizontal grey bars for providing reasons for support or opposition.

Name: [Grey box]
Address: [Grey box]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

NORTH



VICINITY MAP
FOR REFERENCE ONLY

LEGAL DESCRIPTION:
CHANDLERS LANDING #16 &
REPLAT, BLOCK C, LOT 6
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THIS STRUCTURE. THESE PLANS MUST BE VERIFIED AND CHECKED BY THE BUILDER, HOMEOWNER, AND ALL CONTRACTORS OF THIS JOB PRIOR TO CONSTRUCTION. THE BUILDER, HOMEOWNER, AND ALL CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE BUILDER, HOMEOWNER, AND ALL CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE BUILDER, HOMEOWNER, AND ALL CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE BUILDER, HOMEOWNER, AND ALL CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.

SITE PLAN
SCALE: 1" = 20'-00"



SITE PLAN INFORMATION	
LOT SIZE	5,431 SQFT
TOTAL BUILDING AREA	3,188 SQFT
PERCENT LOT COVERED	22 %

SQUARE FOOTAGE BREAKDOWN	
PROPOSED LIVING AREA 1ST FLOOR	923 SQFT
PROPOSED LIVING AREA 2ND FLOOR	1,416 SQFT
TOTAL LIVING AREA	2,339 SQFT
PROPOSED BALCONY	217 SQFT
PROPOSED GARAGE	484 SQFT
PROPOSED PORCH/ENTRY	61 SQFT
PROPOSED REAR PORCH	116 SQFT
TOTAL UNDERROOF	3,283 QFT

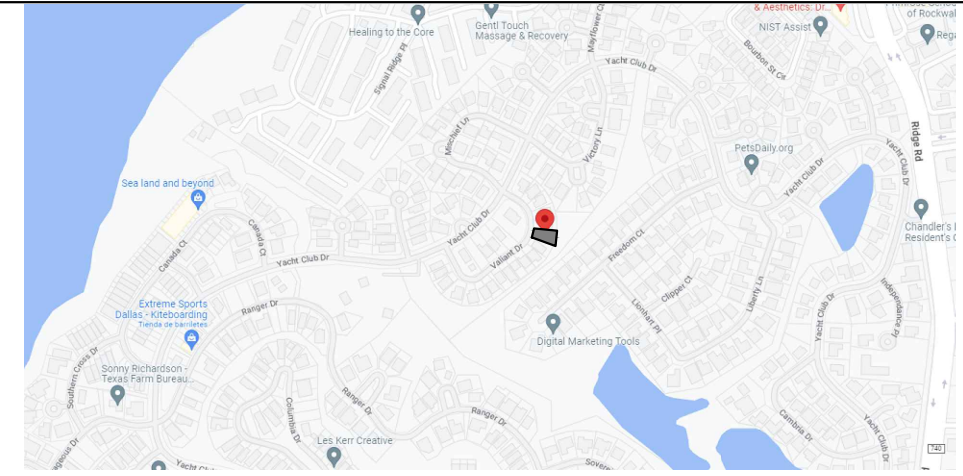
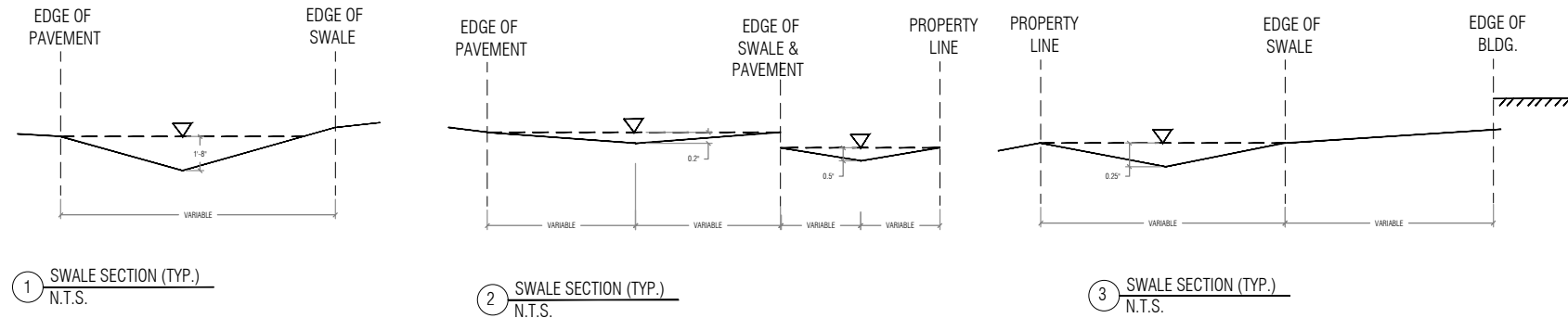
311 VALIANT DR,
ROCKWALL, TX 75032

PAGE TITLE: SITE PLAN

SCALE: 1" = 20'-00"

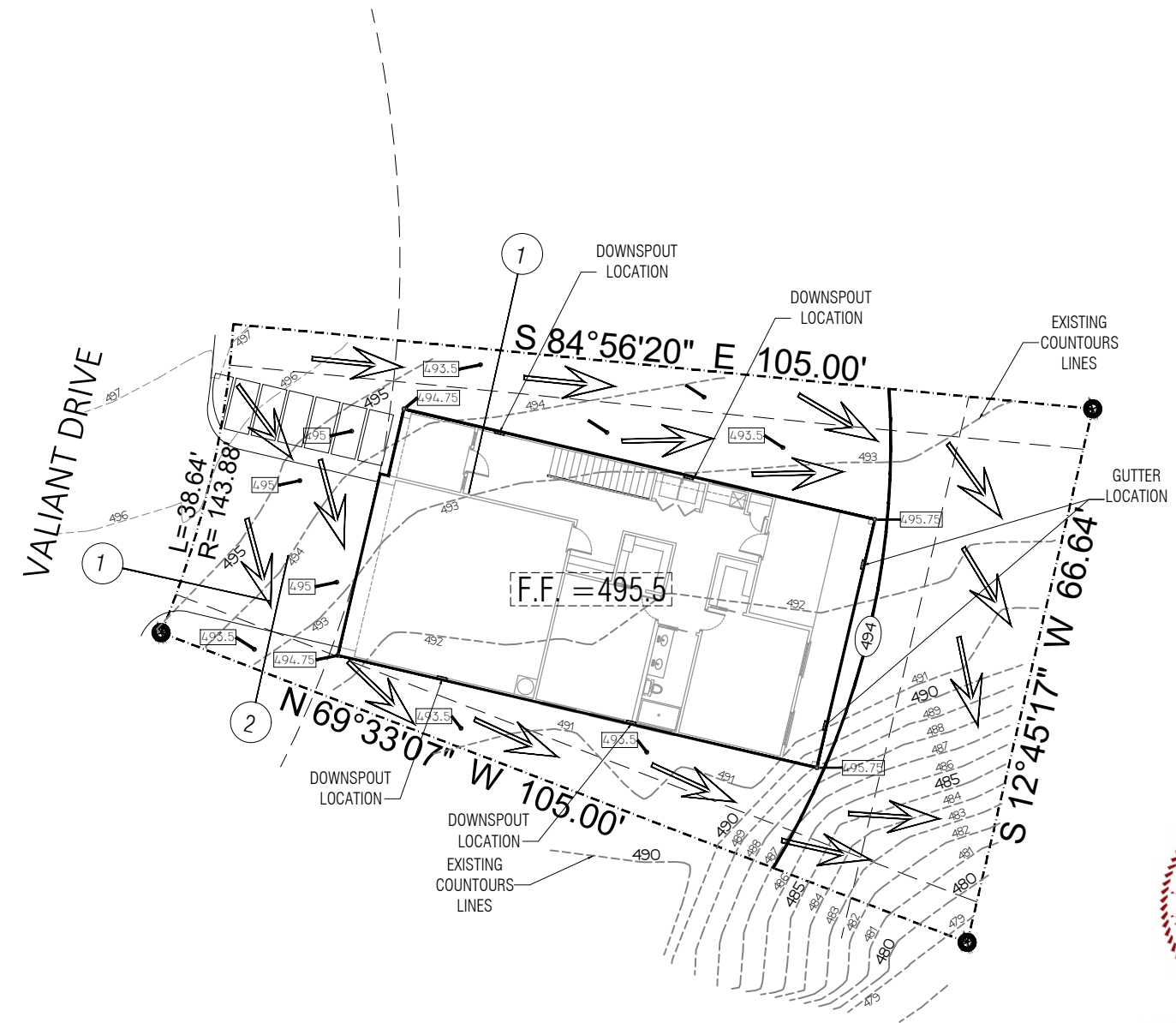
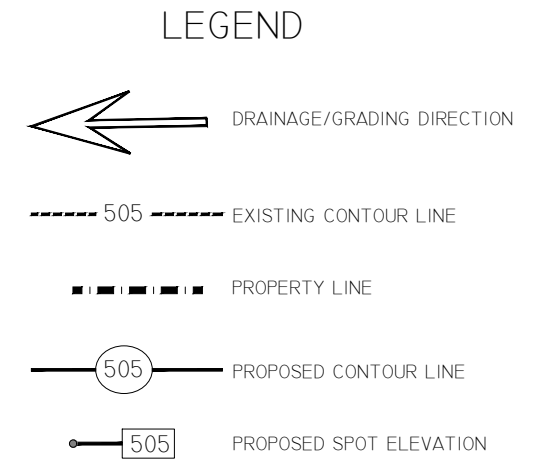
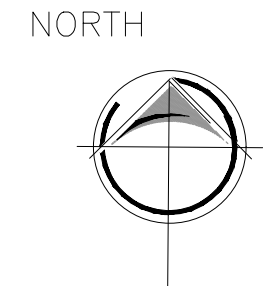
DATE: 4/13/2023

PAGE: 1



VICINITY MAP FOR REFERENCE ONLY

LEGAL DESCRIPTION:
 CHANDLERS LANDING #16 &
 REPLAT, BLOCK C, LOT 6
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS



- GENERAL DRAINAGE NOTES
- GRADING AND DRAINAGE SHALL NOT ADVERSELY IMPACT SURROUNDING PROPERTIES.
 - LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET. EXCEPTION: WHERE LOT LINES, WALLS, SLOPES, OR OTHER PHYSICAL BARRIERS PROHIBIT 6 INCHES OF FALL WITHIN 10 FEET, THE FINAL GRADE SHALL SLOPE AWAY FROM THE FOUNDATION AT MINIMUM SLOPE OF 5 PERCENT AND THE WATER SHALL BE DIRECTED TO DRAINS OR SWALES TO ENSURE DRAINAGE AWAY FROM THE THE STRUCTURE. SWALES SHALL BE SLOPED A MINIMUM OF 2 PERCENT WHEN LOCATED WITHIN 10 FEET OF THE BUILDING FOUNDATION. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BULDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2 PERCENT AWAY FROM THE BULDING.
 - ALL DRAINAGE SWALES SHALL BE LOCATED ENTIRELY ON THIS LOT.

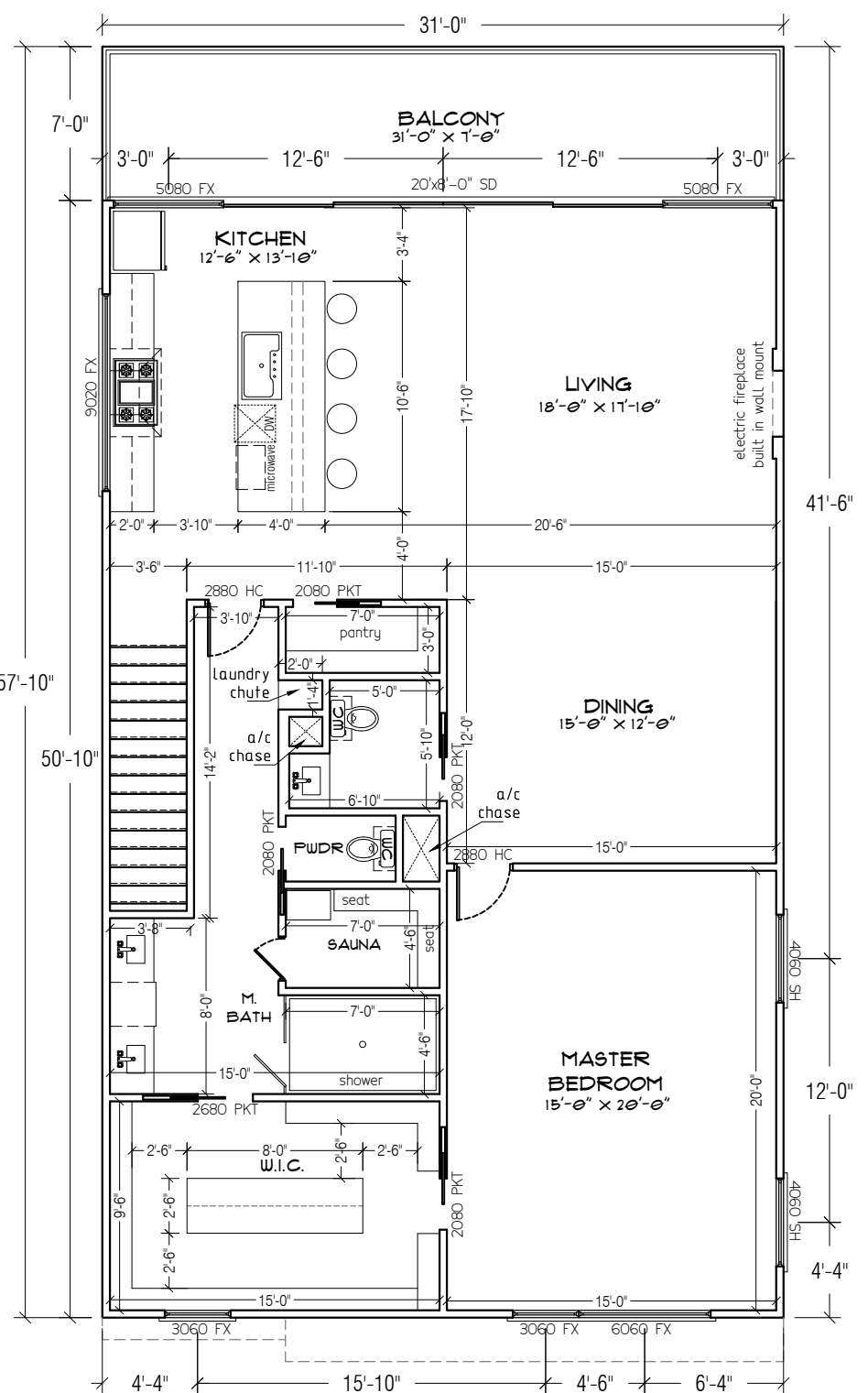
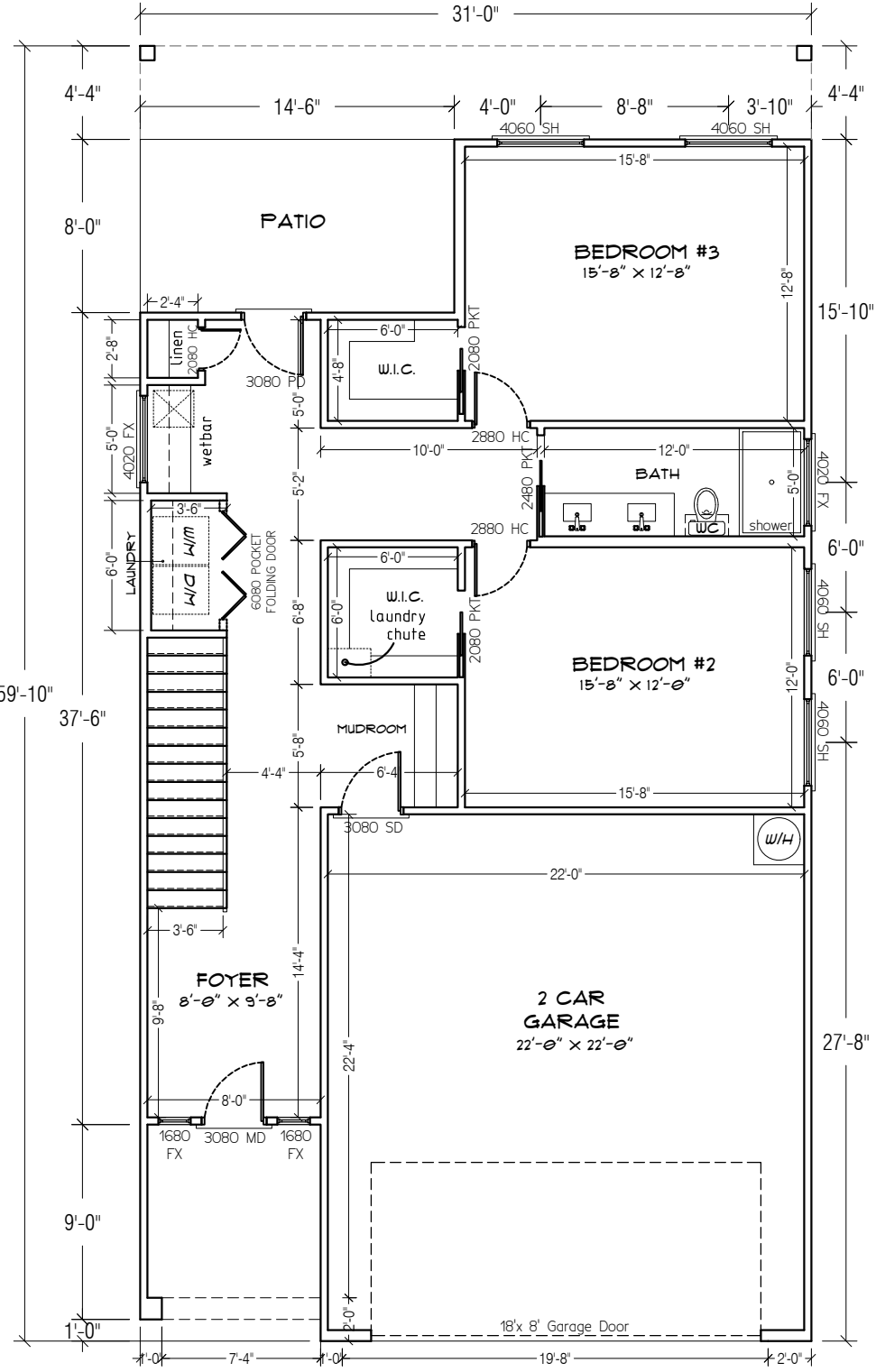
STATE OF TEXAS
 XAVIER CHAPA
 42335
 LICENSED ENGINEER
Xavier Chapa
 Xavier Chapa Engineering/Surveying
 Firm Number F-9156
 04/13/2023

DRAINAGE/GRADING PLAN 1.2
 SCALE: 1'-0" = 20'-00"

THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THIS STRUCTURE. THESE PLANS MUST BE VERIFIED AND CHECKED BY THE BUILDER, HOMEOWNER, AND ALL CONTRACTORS OF THIS JOB PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.

311 VALIANT DR,
 ROCKWALL, TX 75032

PAGE TITLE: DRAINAGE/GRADING PLAN
 SCALE: 1'-0" = 20'-00"
 DATE: 4/13/2023
 PAGE: 1.2



KEY	
KEY	DESCRIPTION
SH	SINGLE HUNG WINDOW
HC	HOLLOW CORE DOOR
SC	SOLID CORE DOOR
SD	SLIDING DOOR
FX	FIXED WINDOW
BID	BI-FOLD DOOR

SQUARE FOOTAGE BREAKDOWN	
PROPOSED LIVING AREA 1ST FLOOR	923 SQFT
PROPOSED LIVING AREA 2ND FLOOR	1,416 SQFT
TOTAL LIVING AREA	2,339 SQFT
PROPOSED BALCONY	211 SQFT
PROPOSED GARAGE	484 SQFT
PROPOSED PORCH/ENTRY	61 SQFT
PROPOSED REAR PORCH	116 SQFT
TOTAL UNDERROOF	3,283 QFT

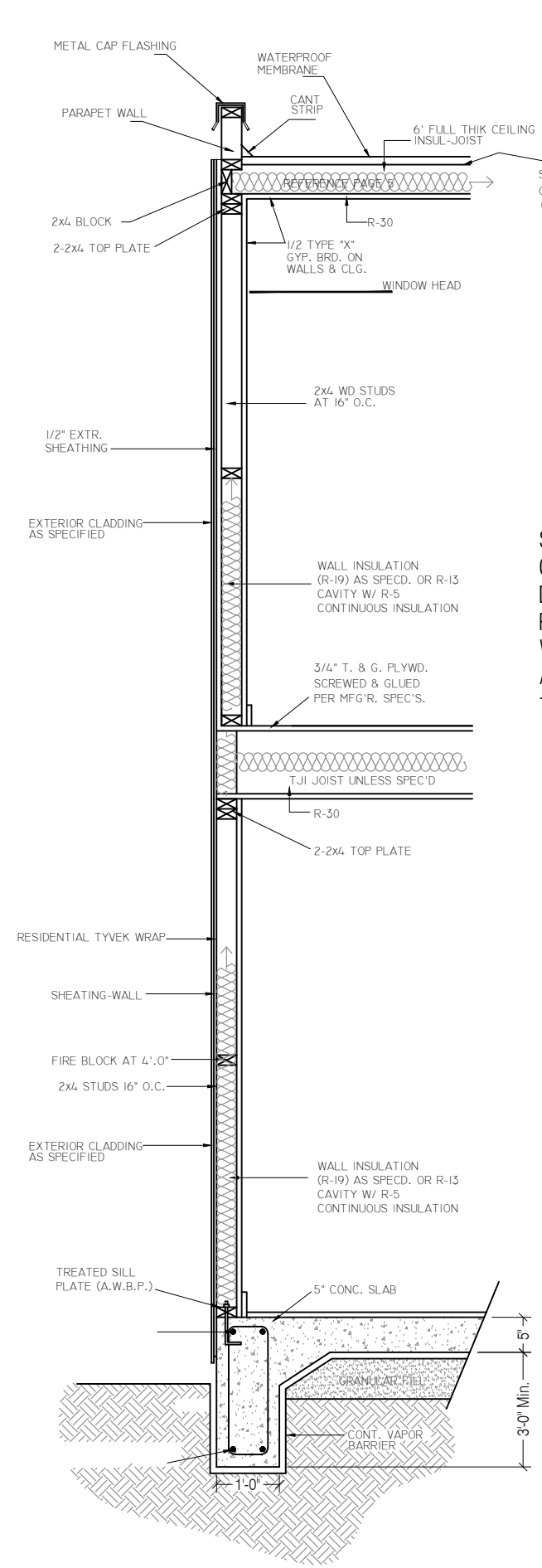
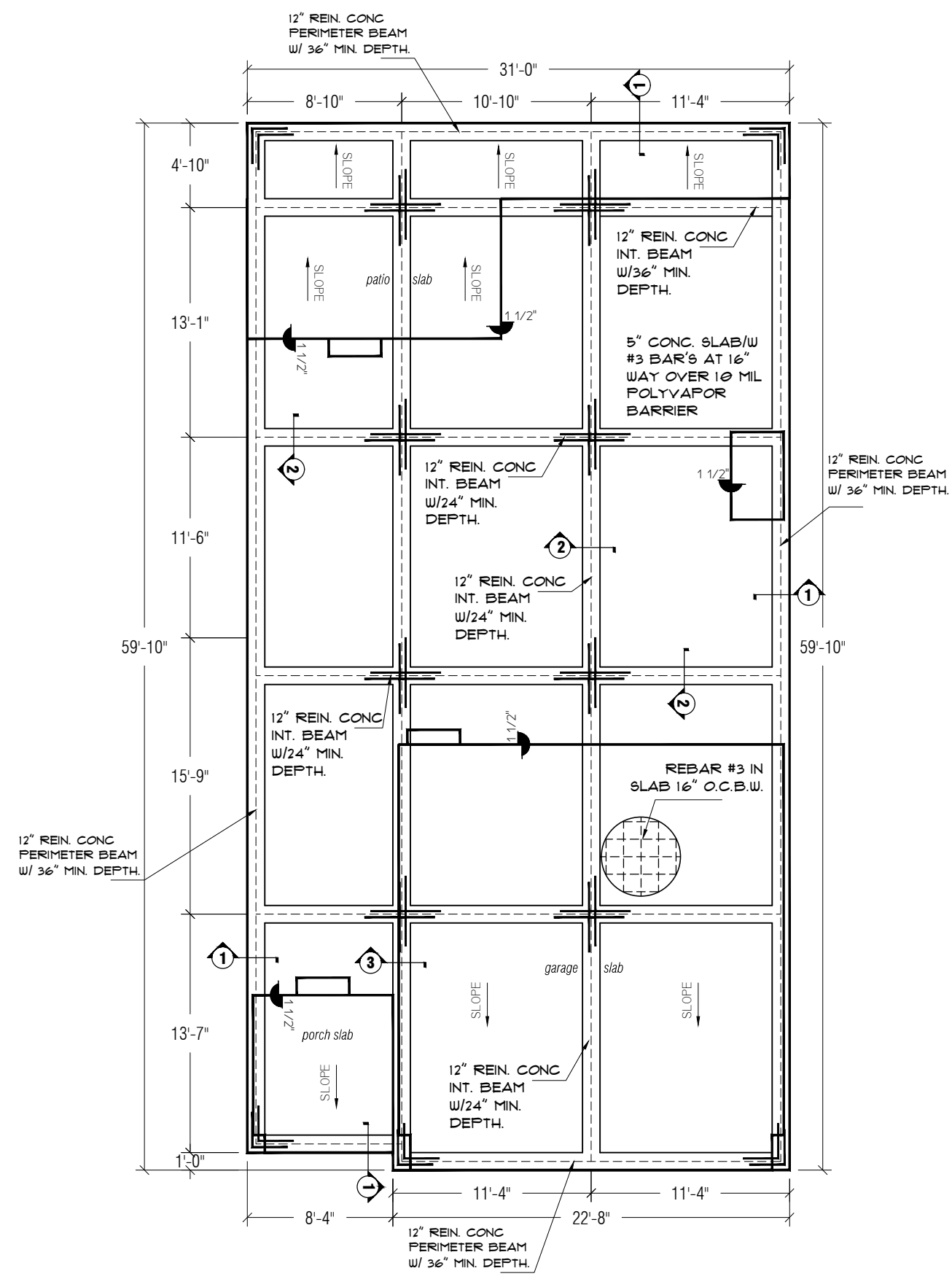
FLOOR PLAN
SCALE: 1/8"=1'-0"

2

THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THIS STRUCTURE. THESE PLANS MUST BE REVIEWED AND CHECKED BY THE BUILDER, OWNER AND ALL CONTRACTORS PRIOR TO BEGINNING CONSTRUCTION. THE BUILDER SHOULD OBTAIN COMPLETE ENGINEERING SERVICES, HVAC, AND STRUCTURAL BEFORE BEGINNING CONSTRUCTION OF ANY KIND. NOTE: ALL FEDERAL, STATE, AND LOCAL CODES AND RESTRICTIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS. GREAT CARE AND EFFORT HAVE GONE INTO THE CREATION OF THESE BLUEPRINTS. HOWEVER, BECAUSE OF THE VARIANCE IN GEOGRAPHIC LOCATION, THE BUILDER MUST OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE PURCHASE OF THESE PLANS ENTITLES THE BUYER TO RENOVATE/REPLACE THE MEP DESIGN ONLY ONCE. ANY COPYING, TRACING, OR ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS.

311 VALIANT DR,
ROCKWALL, TX 75082

PAGE TITLE: FLOOR PLAN
SCALE: 1/8" = 1'-0"
DATE: 4/13/2023
PAGE: 2



A WALL SECTION - STUCCO-CLADDING/SLAB/TWO STORY
not to scale

SLAB THICKNESS T=5"
GRADE BEAMS:
DEPTH H=24"
PERIMETRAL
WIDTH B=12"
ALL BEAMS MUST BE FOUNDED IN
12" MINIMUM OF UNDISTURBED SOIL
VERIFY ALL DIMENSIONS WITH
ARCHITECT'S PLANS PRIOR TO
CONSTRUCTION.

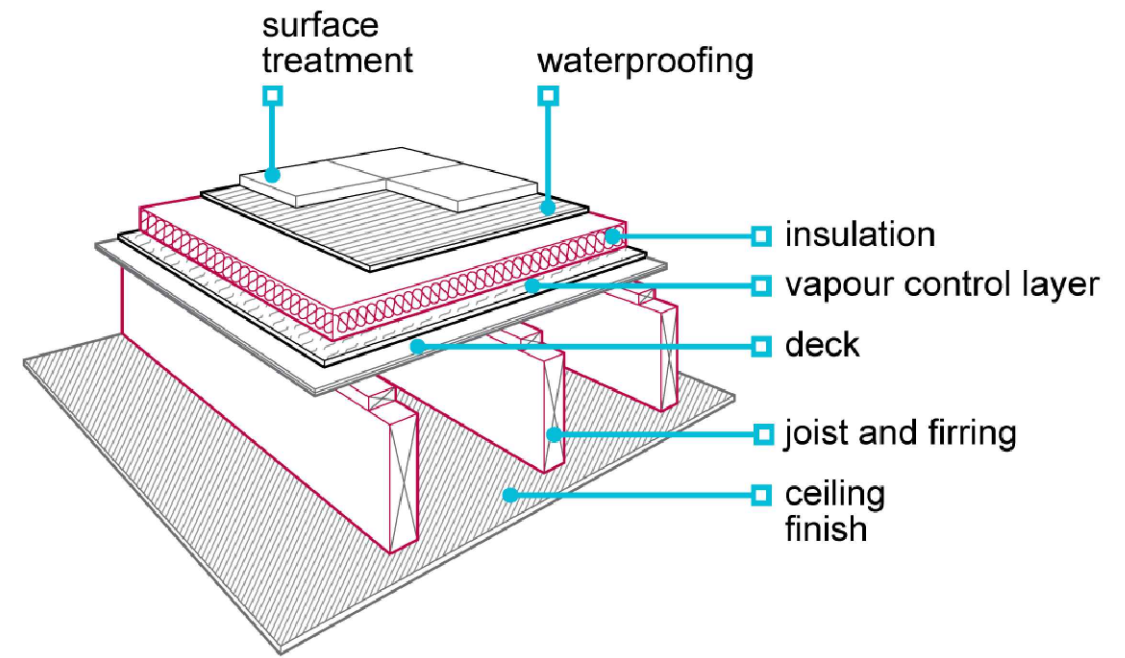
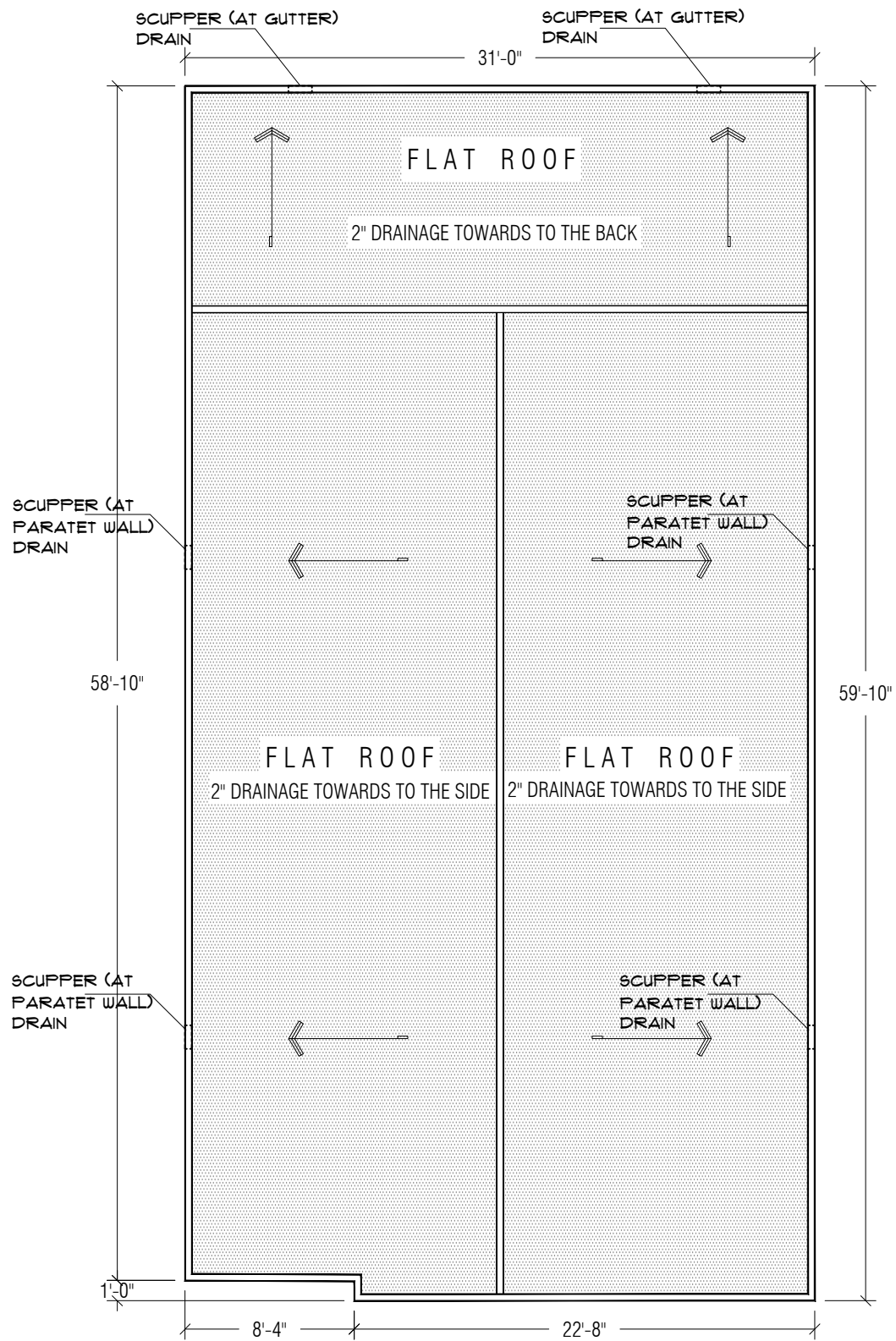


Xavier Chapa
Xavier Chapa Engineering/Surveying
Firm Number F-9156

04/13/2023

311 VALIANT DR, ROCKWALL, TX 75082	
PAGE TITLE:	FOUNDATION PLAN
SCALE:	1/8" = 1'-0"
DATE:	4/13/2023
PAGE:	3

THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THIS STRUCTURE. THESE PLANS MUST BE REVERSED, CHECKED BY THE BUYER, HOMEOWNER AND ALL CONTRACTORS PRIOR TO CONSTRUCTION. THE BUYER, HOMEOWNER AND ALL CONTRACTORS SHOULD OBTAIN COMPLETE ENGINEERING SERVICES, HVAC, AND STRUCTURAL BEFORE BEGINNING CONSTRUCTION OF ANY KIND. NOTE: ALL FEDERAL, STATE, AND LOCAL CODES AND RESTRICTIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS. GREAT CARE AND EFFORT HAVE GONE INTO THE CREATION OF THESE BLUEPRINTS. HOWEVER, BECAUSE OF THE VARIANCE IN GEOGRAPHIC LOCATIONS, THE BUYER/BUILDER MUST COMPLY WITH LOCAL BUILDING CODES PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE PURCHASE OF THESE PLANS ENTITLES THE BUYER TO RENOVATE/REPLACE THE MEP DESIGN ONLY ONCE. ANY COPYING, TRACING, OR ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS.



falls can be created by firrings or tapered insulation

THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THE STRUCTURE. THESE PLANS MUST BE REPERED, CHECKED, REVISOR, OWNER, ARCHITECT, ENGINEER, CONTRACTOR, AND ALL CONTRACTORS PRIOR TO CONSTRUCTION. THE BUYER/BUILDER SHOULD OBTAIN COMPLETE ENGINEERING SERVICES, HVAC, AND STRUCTURAL BEFORE BEGINNING CONSTRUCTION OF ANY KIND. NOTE: ALL FEDERAL, STATE, AND LOCAL CODES AND RESTRICTIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS. GREAT CARE AND EFFORT HAVE GONE INTO THE CREATION OF THESE BLUEPRINTS. HOWEVER, BECAUSE OF THE VARIANCE IN GEOGRAPHIC LOCATIONS, LOCAL BUILDING CODES, AND LOCAL REGULATIONS, THE BUYER/BUILDER MUST OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE PURCHASER OF THESE PLANS ENTITLES THE BUYER TO RENOVATE/REPLACE THE MEP DESIGN ONLY ONCE. ANY COPYING, TRACING, OR ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS.

311 VALIANT DR,
ROCKWALL, TX 75082



Xavier Chapa
Xavier Chapa Engineering/Surveying
Firm Number F-9156

04/13/2023

ROOF PLAN
SCALE: 1/8"=1'-0"

5

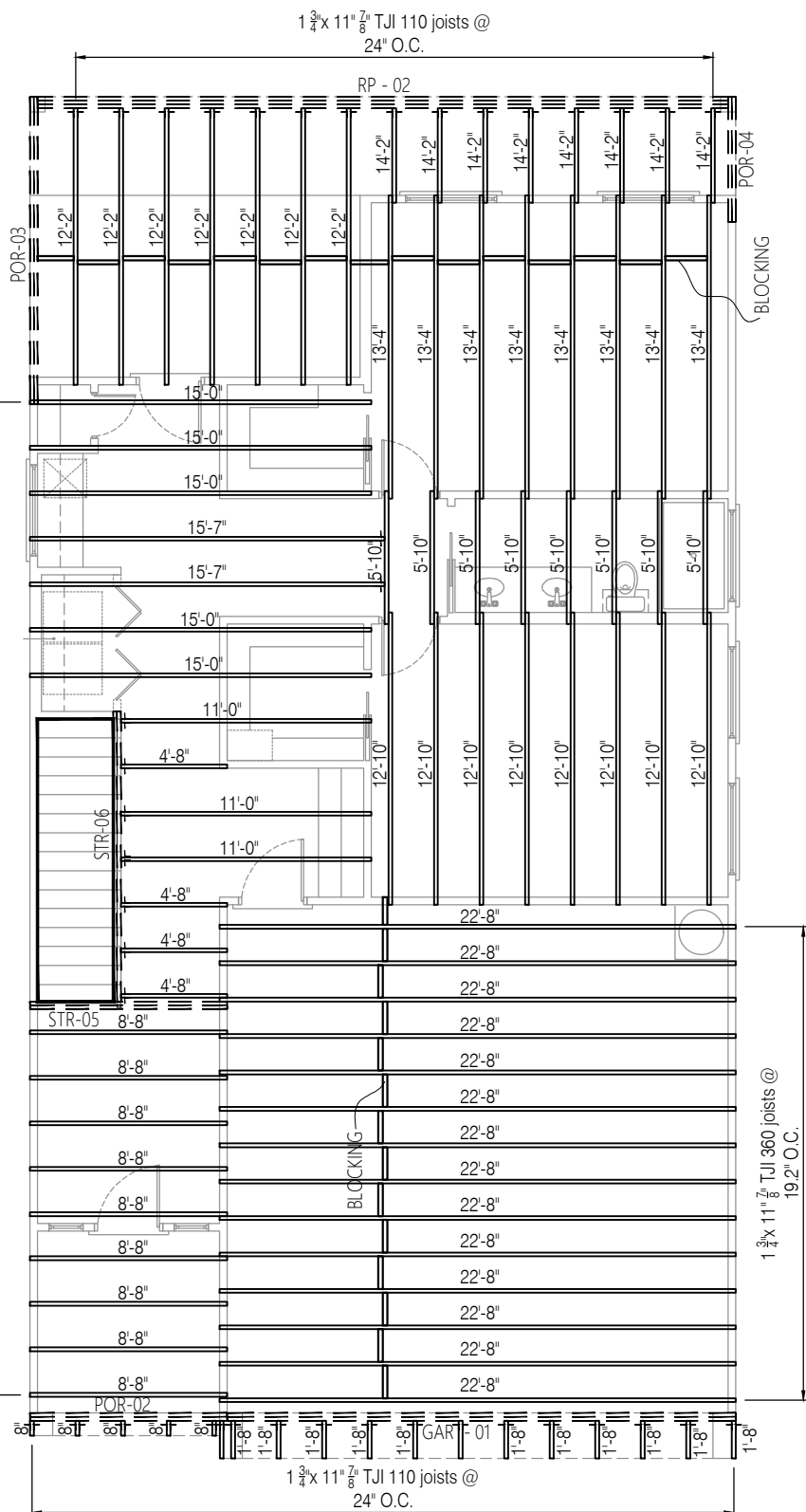
PAGE TITLE: ROOF & FRAMING PLAN

SCALE: 1/8"=1'-0"

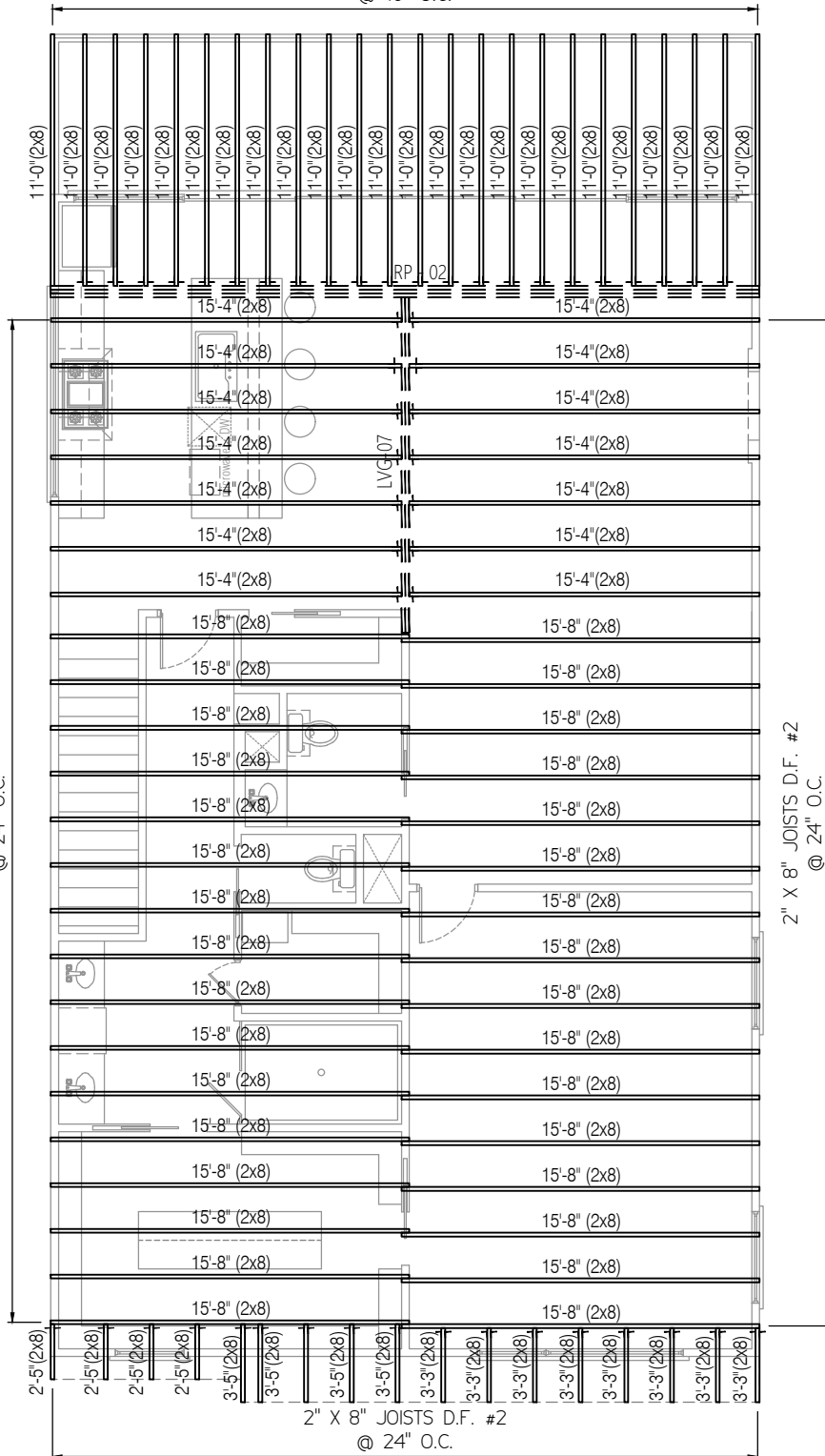
DATE: 4/13/2023

PAGE: 5

1 3/4" x 11 7/8" TJI 110 joists @ 24" O.C.



2" X 8" JOISTS D.F. #2 @ 16" O.C.



2" X 8" JOISTS D.F. #2 @ 24" O.C.

2" X 8" JOISTS D.F. #2 @ 24" O.C.

LVL VERSA-LAM 2.1E 3100 BEAM

1 3/4" x 14"

Label	Description	Width	Depth	Qty	Plies	Pcs	Length
GAR-01	LVL VERSA-LAM 2.1E 3100			1	2		22'-4"
POR-02	LVL VERSA-LAM 2.1E 3100			1	2		8'-8"
POR-02	LVL VERSA-LAM 2.1E 3100			1	2		13'-6"
POR-04	LVL VERSA-LAM 2.1E 3100			1	2		5'-6"
SRT-05	LVL VERSA-LAM 2.1E 3100			1	2		8'-8"
SRT-06	LVL VERSA-LAM 2.1E 3100			1	2		12'-9"
LVG-07	LVL VERSA-LAM 2.1E 3100			1	2		14'-8"

LVL VERSA-LAM 2.1E 3100 BEAM

Triple Ply 1 3/4" or 5 1/4" x 24"

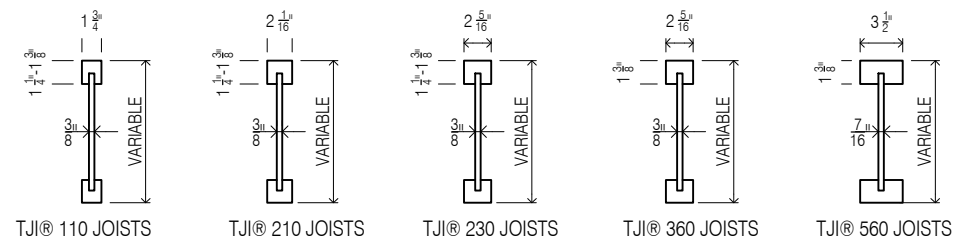
Label	Description	Width	Depth	Qty	Plies	Pcs	Length
RP-01	LVL VERSA-LAM 2.1E 3100			1	3		30'-4"
RP-02	LVL VERSA-LAM 2.1E 3100			1	3		31'-0"



Xavier Chapa
 Xavier Chapa Engineering/Surveying
 Firm Number F-9156

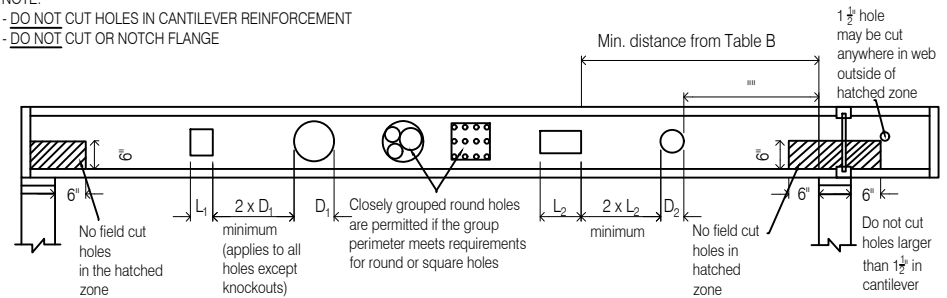
04/13/2023

TJI® JOISTS DIMENSIONS

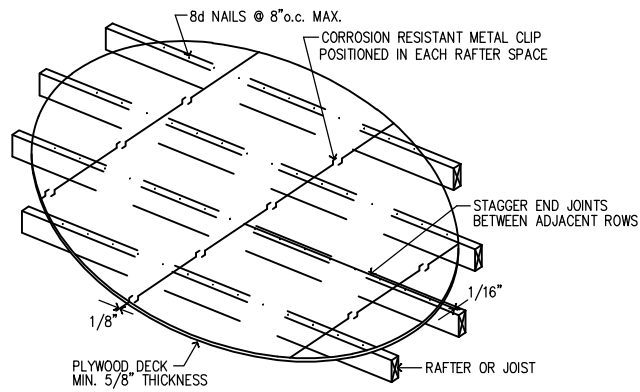


ALLOWABLE HOLES - TJI® JOISTS

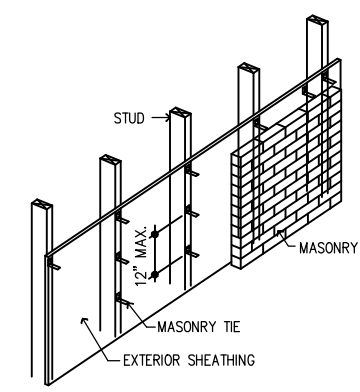
- NOTE:
- DO NOT CUT HOLES IN CANTILEVER REINFORCEMENT
 - DO NOT CUT OR NOTCH FLANGE



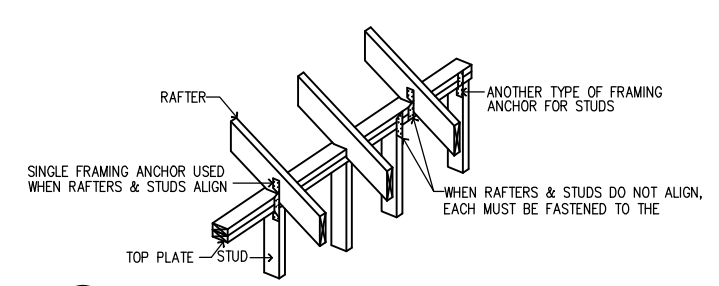
THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBMITTAL TO BUILD THIS STRUCTURE. THESE PLANS MUST BE REVISIONS, CHECKED BY THE BUILDER, OWNER AND ALL CONTRACTORS PRIOR TO CONSTRUCTION. THE BUILDER SHOULD OBTAIN COMPLETE ENGINEERING SERVICES, HVAC, AND STRUCTURAL BEFORE BEGINNING CONSTRUCTION OF ANY KIND. NOTE: ALL FEDERAL, STATE, AND LOCAL CODES AND RESTRICTIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS. GREAT CARE AND EFFORT HAVE GONE INTO THE CREATION OF THESE BLUEPRINTS. HOWEVER, BECAUSE OF THE VARIANCE IN GEOGRAPHIC LOCATIONS, THE BUILDER MUST OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT. THE PURCHASE OF THESE PLANS ENTITLES THE BUYER TO RENOVATE/REPLACE THE MAP DESIGN ONLY ONCE. ANY COPYING, TRACING, OR ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS.



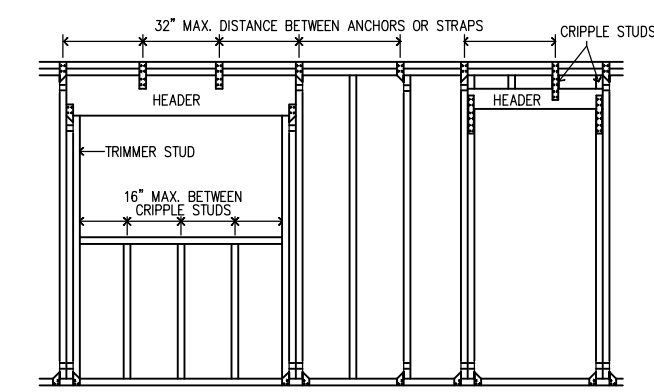
1 SOLID PLYWOOD SHEATHING



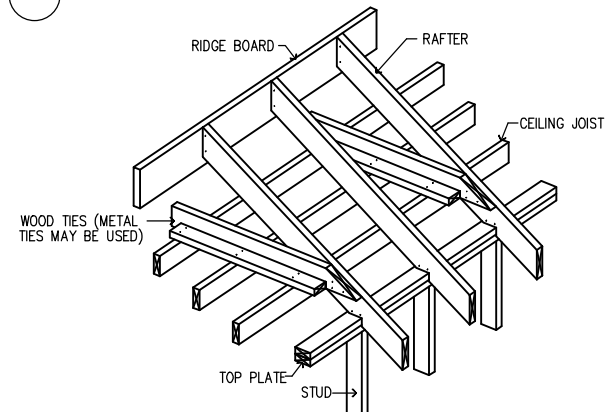
13 ANCHORING MASONRY VENEER TO WALL FRAMING



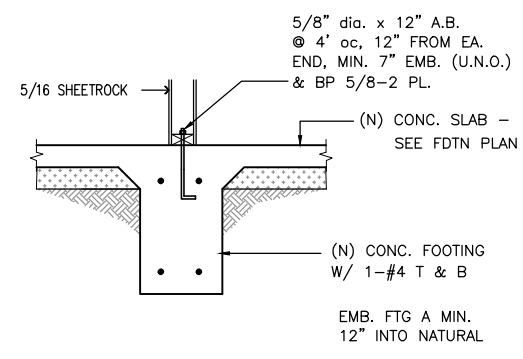
3 FASTENING RAFTERS TO THE WALL FRAMING



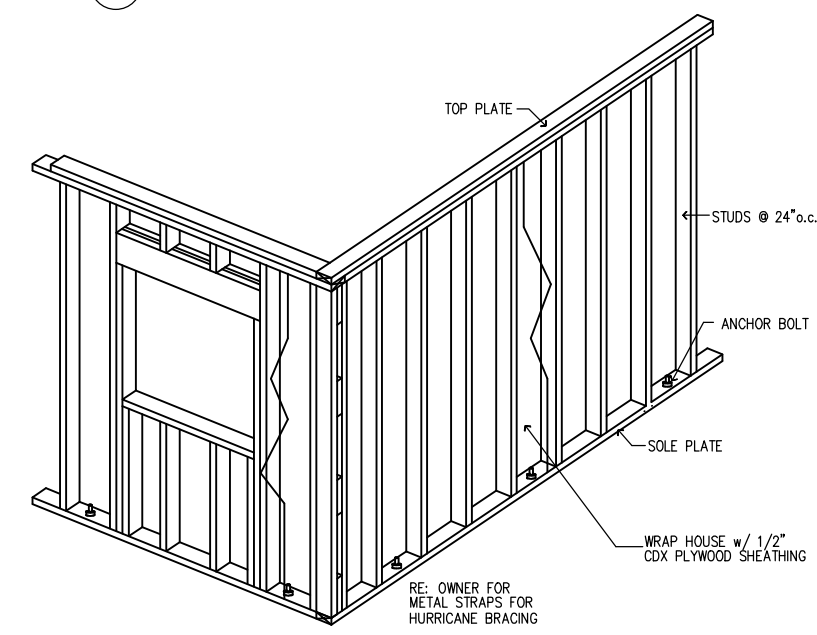
14 ANCHORAGE OF HEADERS



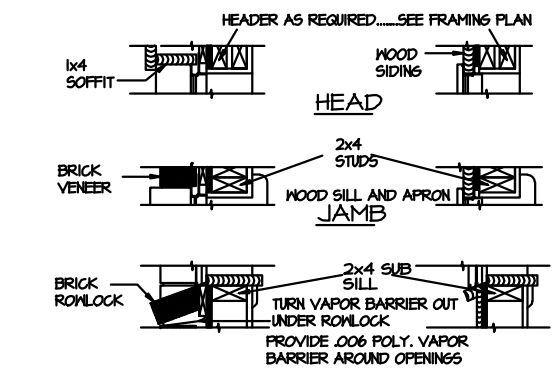
4 SECURING RAFTERS TO PERPENDICULAR JOISTS BELOW



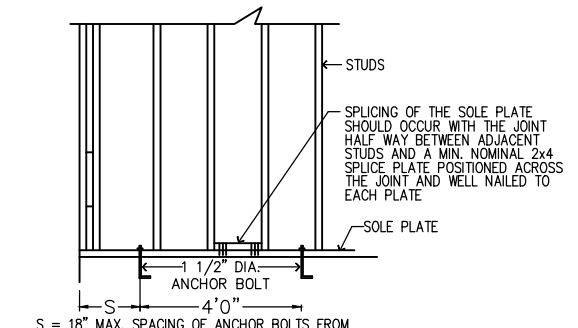
16 INTERIOR WALL TO FOUNDATION BEAM ANCHORAGE



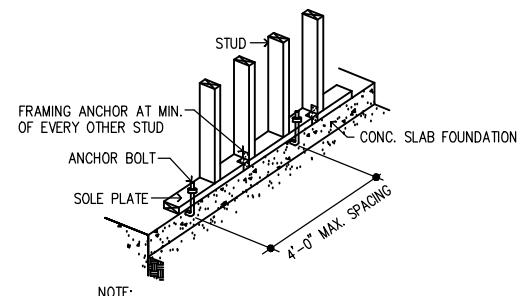
6 LATERAL BRACING OF EXTERIOR WALLS



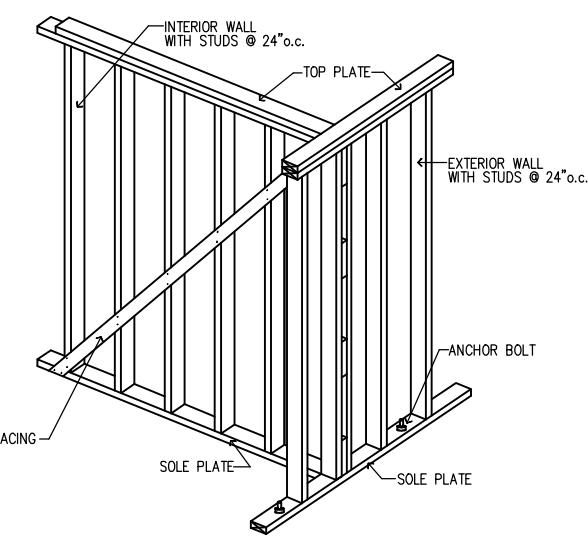
19 SILL CONSTRUCTION DETAILS



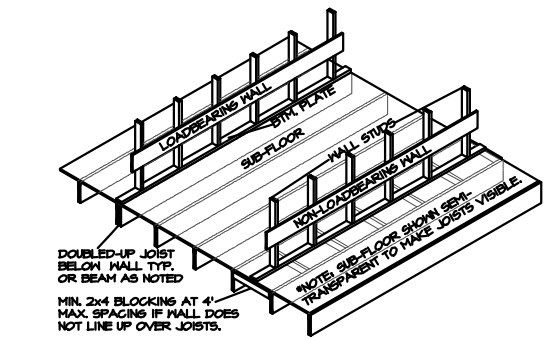
8 SPLICING OF SILLS OR SOLE PLATES



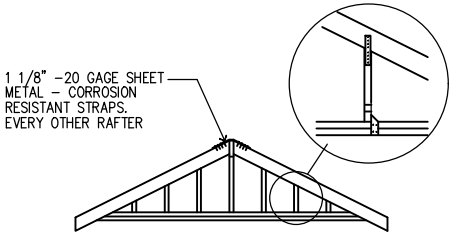
12 ANCHOR SILL PLATE TO FOUNDATION



11 LATERAL BRACING OF INTERIOR WALL AT INTERSECTION WITH AN EXTERIOR WALL



20 INTERIOR WALLS CONSTRUCTION (NON LOAD-BEARING)



15 CONNECTING GABLE STUDS TO RAFTER AND TOP PLATE

THIS DETAIL SHEET IS MEANT TO OFFER ONE METHOD TO COMPLY WITH THE BUILDING CODE REQUIREMENTS OF THE T.C.P.I.A. AND, THUS, MAKE THE STRUCTURE ELIGIBLE TO OBTAIN WINDSTORM INSURANCE FROM THE T.C.P.I.A. THE BUILDER MUST OBTAIN A "BUILDING GUIDELINES MANUAL" FROM THE T.C.P.I.A. AND COMPLY WITH IT.

NOTE: 1 1/8" -20 GAGE SHEET METAL - CORROSION RESISTANT STRAPS, TYPICAL TO ALL STRAPS

THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THIS STRUCTURE. THESE PLANS MUST BE REVERSED, CHECKED BY THE BUILDER, ENGINEER, ARCHITECT, AND ALL CONTRACTORS PRIOR TO CONSTRUCTION. THE BUILDER SHOULD OBTAIN COMPLETE ENGINEERING SERVICES, HVAC, AND STRUCTURAL BEFORE BEGINNING CONSTRUCTION OF ANY KIND. NOTE: ALL FEDERAL, STATE, AND LOCAL CODES AND RESTRICTIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS. GREAT CARE AND EFFORT HAVE GONE INTO THE CREATION OF THESE BLUEPRINTS. HOWEVER, BECAUSE OF THE VARIANCE IN GEOGRAPHIC LOCATIONS, LOCAL BUILDING CODES MAY VARY FROM THE NATIONAL BUILDING CODES. THE BUILDER MUST OBTAIN THE LOCAL BUILDING CODES PRIOR TO CONSTRUCTION. THE PURCHASE OF THESE PLANS ENTITLES THE BUYER TO RENOVATE/REPLACE THE MEP DESIGN ONLY ONCE. ANY COPYING, TRACING, OR ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS.

311 VALIANT DR,
ROCKWALL, TX 75082



Xavier Chapa
Xavier Chapa Engineering/Surveying
Firm Number F-9156

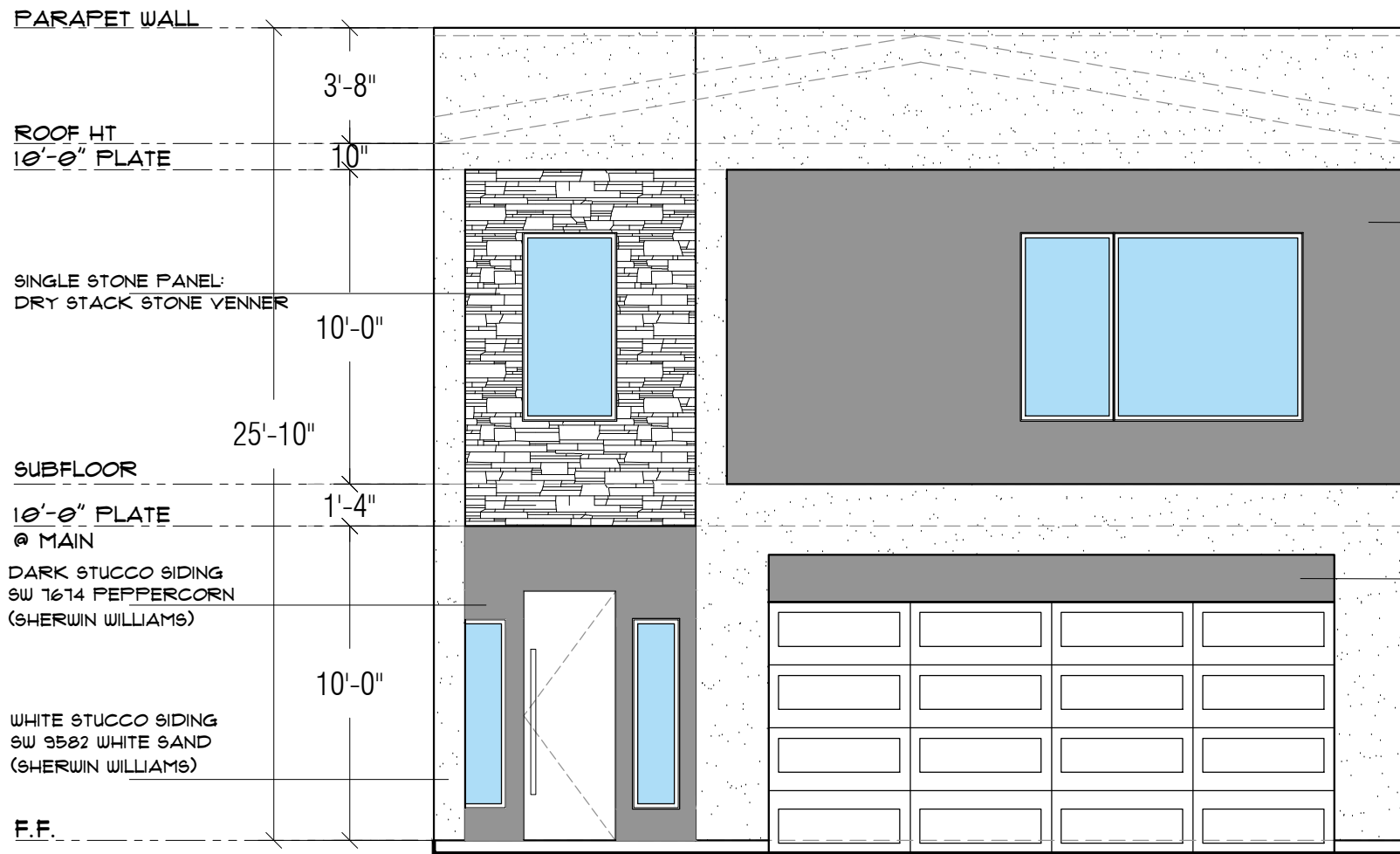
04/13/2023

PAGE TITLE: GENERAL CONSTRUCTION DETAILS

SCALE: N.T.S

DATE: 4/13/2023

PAGE: 6



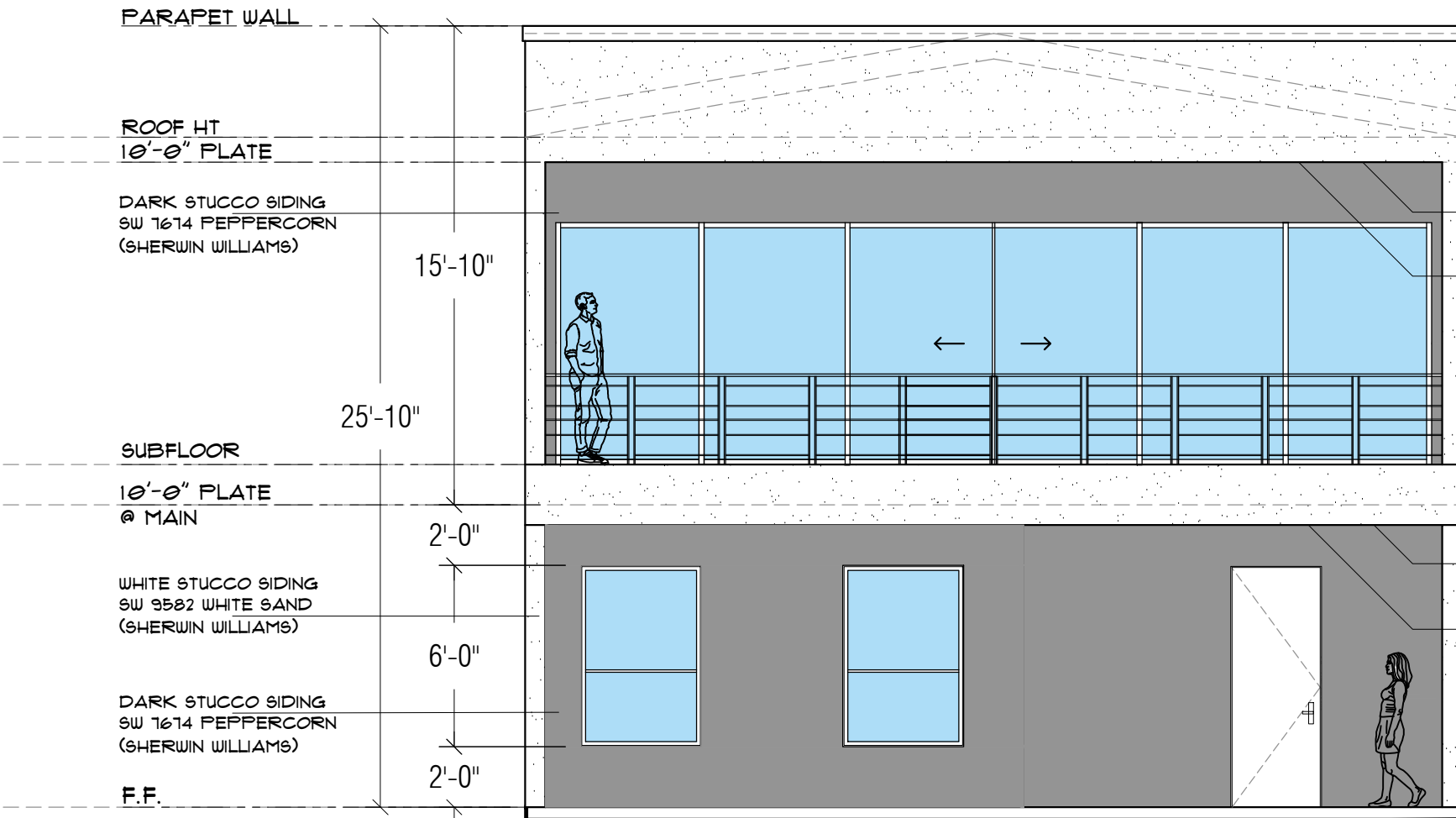
DARK STUCCO SIDING
SW 1674 PEPPERCORN
(SHERWIN WILLIAMS)

MATERIAL SELECTION				EXTERIOR COVERAGE					
MATERIAL	MANUFACTURER	NAME	COLOR	FRONT	REAR	RIGHT SIDE	LEFT SIDE		
STUCCO	QUIKRETE		WHITE/DARK	654 SQ. FT.	483 SQ. FT.	1,288 SQ. FT.	1,220 SQ. FT.	3,645 SQ. FT.	100%
DRY STACK STONE VENNER	ELDORADO		BROWN	65 SQ. FT.				65 SQ. FT.	
TOTAL								3,710 SQ. FT.	100%

CUSTOMER/CONTRACTOR TO HAVE FINAL APPROVAL OF ACTUAL MATERIALS TO BE SELECTED FOR CONSTRUCTION WORK.

DARK STUCCO SIDING
SW 1674 PEPPERCORN
(SHERWIN WILLIAMS)

FRONT ELEVATION 8
SCALE: 3/16"=1'-0"



UNDERCEILING:
4" LIP STUCCO

UNDERCEILING:
WALNUT (REAL WOOD)

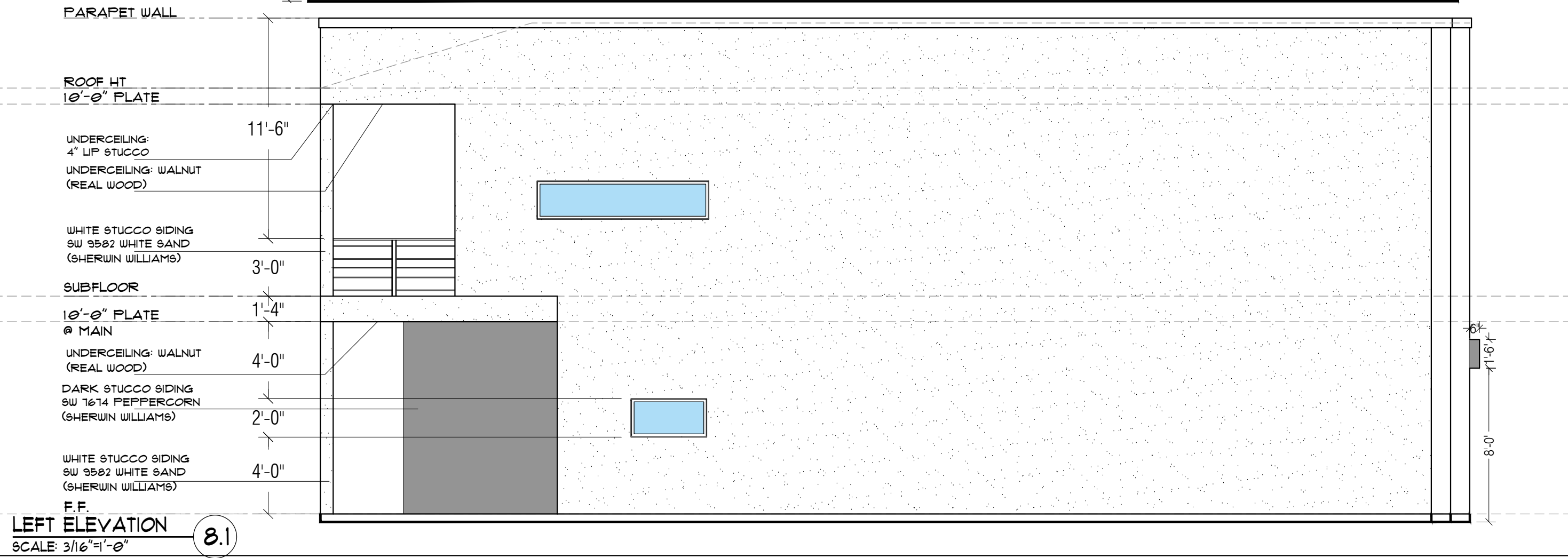
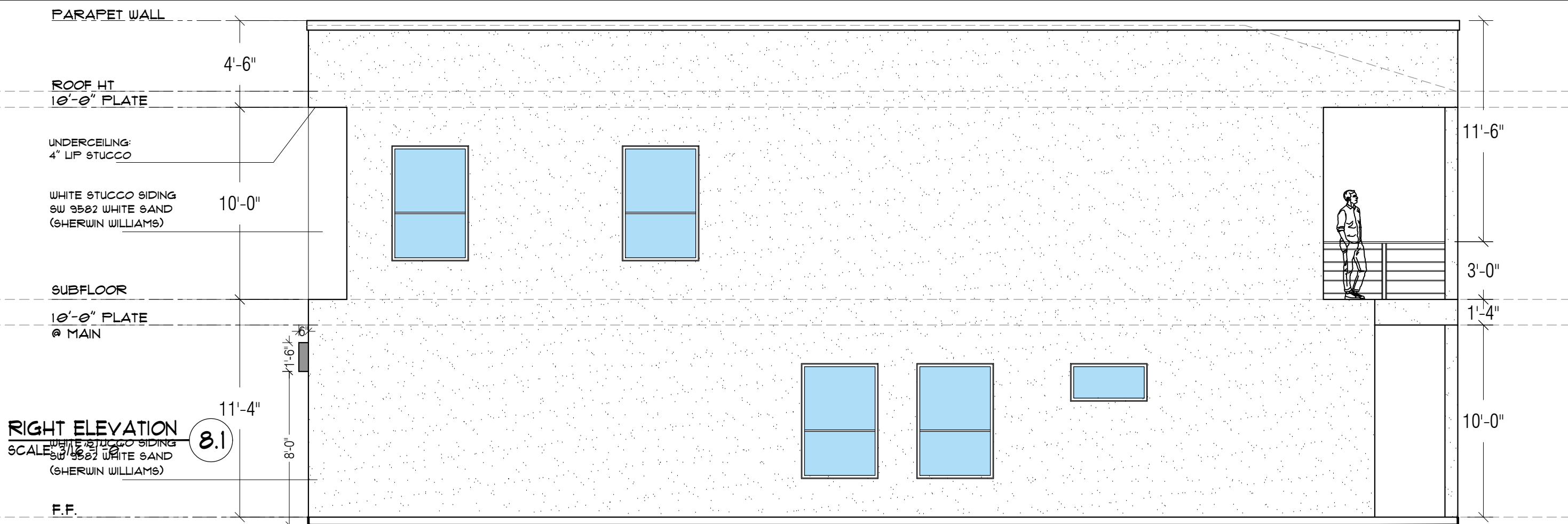
UNDERCEILING:
4" LIP STUCCO

UNDERCEILING:
WALNUT (REAL WOOD)

REAR ELEVATION 8
SCALE: 3/16"=1'-0"

THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION. ACCESS TO THE SUBSTANTIAL BUILDING STRUCTURE, THESE PLANS MUST BE OBTAINED FROM THE ARCHITECT OR CONTRACTOR. ALL CONTRACTORS MUST OBTAIN PERMITS FROM THE LOCAL BUILDING DEPARTMENT BEFORE BEGINNING CONSTRUCTION OF ANY KIND. NOTE: ALL FEDERAL, STATE, AND LOCAL CODES AND RESTRICTIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS. GREAT CARE AND EFFORT HAVE GONE INTO THE CREATION OF THESE BLUEPRINTS. HOWEVER, BECAUSE OF THE VARIANCE IN GEOGRAPHIC LOCATIONS, THE ARCHITECT AND CONTRACTOR MUST OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT. THE PURCHASE OF THESE PLANS ENTITLES THE BUYER TO RENOVATE/REPLACE THE MEP DESIGN ONLY ONCE. ANY COPYING, TRACING, OR ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS.

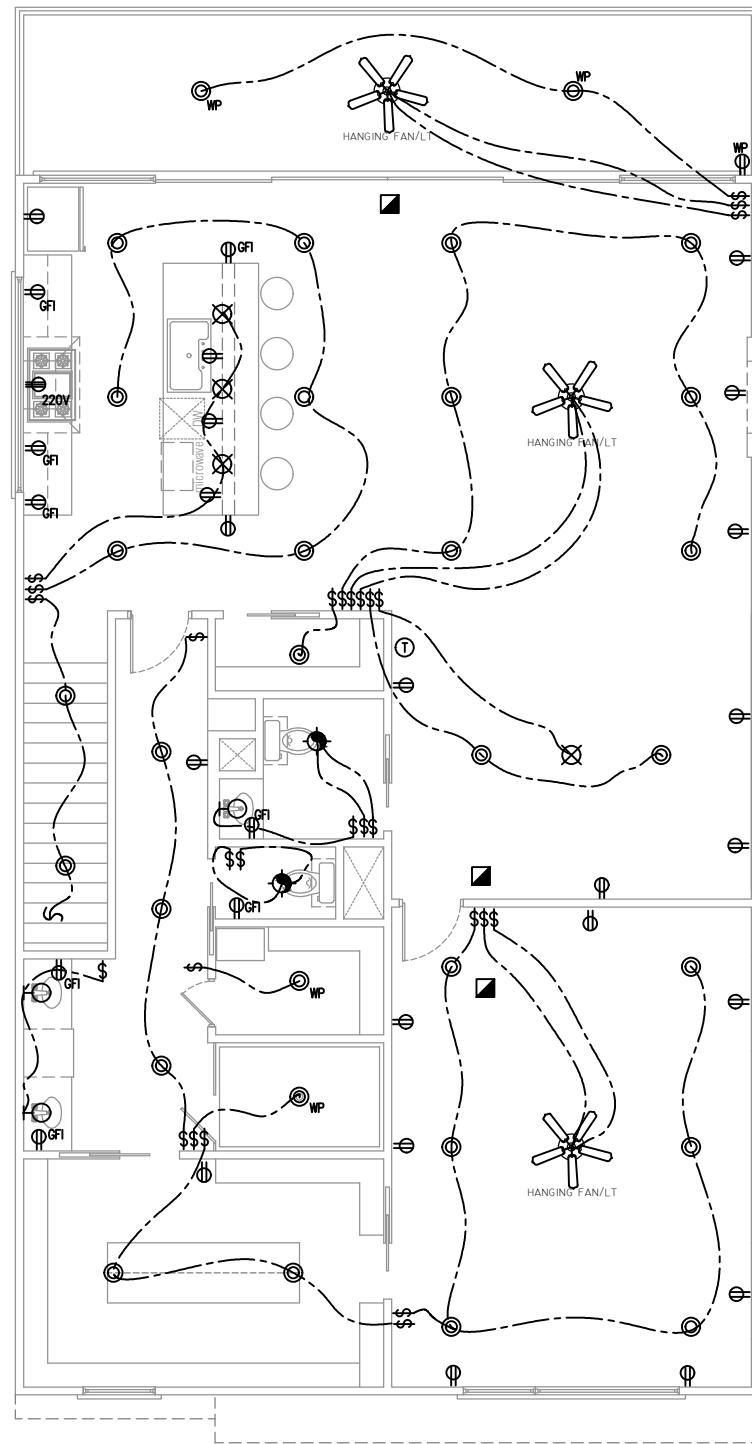
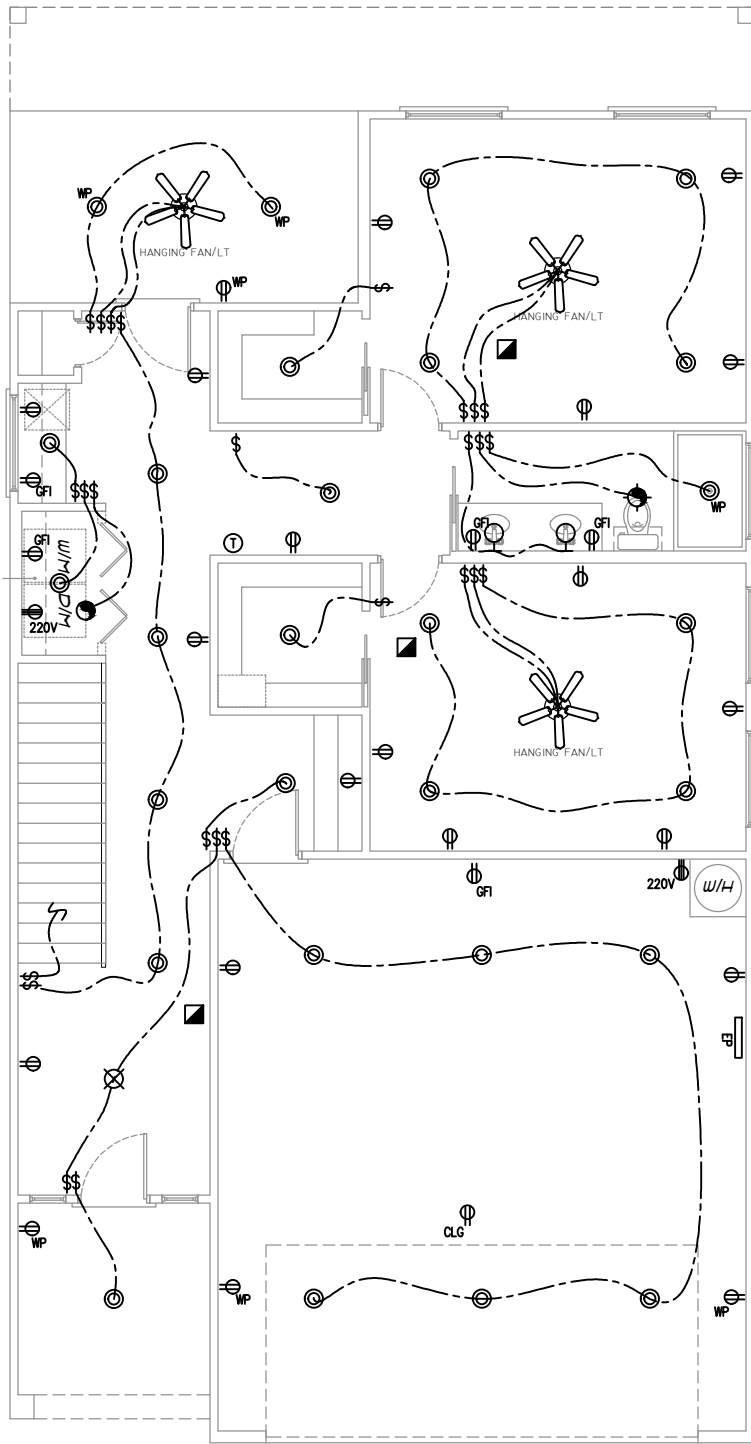
311 VALIANT DR,
ROCKWALL, TX 75082



THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO CONSTRUCT AND BUILD THIS PROJECT. THESE PLANS MUST BE REPRODUCED AND USED IN ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES, AND REGULATIONS. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES BEFORE BEGINNING CONSTRUCTION OF ANY KIND. NOTE: ALL FEDERAL, STATE, AND LOCAL CODES AND RESTRICTIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS. GREAT CARE AND EFFORT HAVE GONE INTO THE CREATION OF THESE BLUEPRINTS. HOWEVER, BECAUSE OF THE VARIANCE IN GEOGRAPHIC LOCATION, LOCAL BUILDING CODES, AND REGULATIONS, THE CONTRACTOR SHALL VERIFY ALL LOCAL BUILDING CODES AND REGULATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE PURCHASE OF THESE PLANS ENTITLES THE BUYER TO RENOVATE/REPLACE THE MEP DESIGN ONLY ONCE. ANY COPYING, TRACING, OR ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS.

311 VALIANT DR,
 ROCKWALL, TX 75082

PAGE TITLE: ELEVATIONS PLAN
 SCALE: 3/16"=1'-0"
 DATE: 4/13/2023
 PAGE: 8

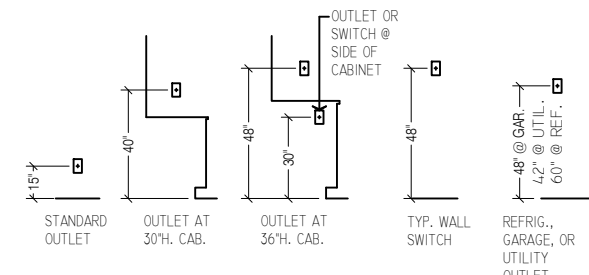


THIS PLAN IS DESIGNED IN ACCORDANCE WITH THE 2017 NEC

ELECTRICAL LEGEND

NOTE: VERIFY W/ OWNER - ALL ELECTRICAL AND LIGHTING LOCATIONS AND SPECS...INCLUDING SECURITY, AUDIO/VISUAL, OUTDOOR ELECTRICAL, PANEL LOCATIONS, ETC.

	110 VOLT RECEPTACLE		SINGLE POLE SWITCH		CEILING FAN/OR CHANDELIER WITH LIGHT KIT
	WATERPROOF RECEPTACLE		THREE WAY SWITCH		
	110 VOLT IN CEILING		FOUR WAY SWITCH		
	110 VOLT WITH GROUND FAULT INTERRUPTER		DIMMER SWITCH		
	110 VOLT IN FLOOR		RHEOSTAT SWITCH		
	220 VOLT RECEPTACLE		MOTION DETECTOR-WALL MOUNT		
	110 VOLT DIRECT HARD WIRE		CEILING MOUNTED LIGHT		
	TV ANTENNA/CABLE/SATELITE/ETC. (VERIFY WITH OWNER)		HANGING LIGHT		
	HOSE BIBB		RECESSED, ADJUSTABLE CAN LIGHT		
	TELEPHONE OUTLET w/ CAT5 VOICE & DATA		WATERPROOF RECESSED ADJUSTABLE CAN LIGHT		
	PUSH BUTTON (DOORBELL OR GARAGE DOOR OPENER)		WALL MOUNTED LIGHT		
	SMOKE DETECTOR w/ CARBON MONOXIDE DETECTOR (HARD WIRE WITH BATTERY BACKUP)		LED STRIP LIGHTING		
	CHIMES (FOR DOOR BELL)		24" UNDER-CABINET FLUOR. FIXTURE		
	THERMOSTAT		TRACK LIGHTING (LENGTH PER PLAN)		
	ELEC. PANEL		EXHAUST FAN (50 CFM MIN.)		
	METER BASE		EXHAUST FAN (50 CFM MIN.) w/ LIGHT		
			2x4 LIGHT FLUORESCENT FIXTURE [32 W] T-8 4 LAMPS		
			1x4 LIGHT FLUORESCENT FIXTURE [32 W] T-8 2 LAMPS		



ELECTRIC FIXTURE HEIGHTS
(UNLESS NOTED OTHERWISE)

GENERAL ELECTRICAL NOTES

1. ALL ELECTRICAL DEVICES AND WORK SHALL COMPLY WITH THE HIGHEST STANDARD OF THE GOVERNING ELECTRICAL CODE.
2. PERFORMANCE STANDARDS SHALL CONFORM TO ALL APPLICABLE CODES AND REGULATIONS AS ESTABLISHED BY GOVERNING AND APPROVAL AGENCIES.
3. ALL DEVICES SHALL BE U.L. APPROVED AND BEAR U.L. LABELS.
4. UNLESS NOTED OTHERWISE, ALL SWITCHES AND OUTLET HEIGHTS SHALL BE AS NOTED ON THESE DRAWINGS.
5. SWITCH AND DUPLEX OUTLETS OF MULTIPLE SWITCHES UP TO (4) FOUR WHEN SHOWN ADJACENT TO EACH OTHER ON PLAN SHALL BE GROUPED UNDER (1) ONE PLATE.
6. VERIFY SERVICES AND LOCATION REQUIREMENTS FOR ALL APPLIANCES AND MECHANICAL EQUIPMENT PRIOR TO INSTALLATION.
7. PROVIDE A MINIMUM OF TWO SEPARATE 20 AMP CIRCUITS TO KITCHEN APPLIANCES.
8. PROVIDE A MINIMUM OF ONE SEPARATE 20 AMP CIRCUIT TO LAUNDRY APPLIANCES.

THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THE STRUCTURE. THESE PLANS MUST BE REVIEWED AND CHECKED BY THE BUILDER, HOMEOWNER AND ALL CONTRACTORS OF THIS JOB PRIOR TO CONSTRUCTION. BUILDER SHOULD OBTAIN COMPLETE ENGINEERING SERVICES, HVAC, AND STRUCTURAL BEFORE BEGINNING CONSTRUCTION OF ANY KIND. NOTE: ALL FEDERAL, STATE, AND LOCAL CODES AND RESTRICTIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS. GREAT CARE AND EFFORT HAVE GONE INTO THE CREATION OF THESE BLUEPRINTS. HOWEVER, BECAUSE OF THE VARIANCE IN GEOGRAPHIC LOCATIONS, THE BUILDER MUST VERIFY ALL APPLICABLE LOCAL BUILDING CODES PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE PURCHASE OF THESE PLANS ENTITLES THE BUYER TO RENOVATE/REPLACE THE MEP DESIGN ONLY ONCE. ANY COPYING, TRACING, OR ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS.

**311 VALIANT DR,
ROCKWALL, TX 75082**

PLUMBING LEGEND

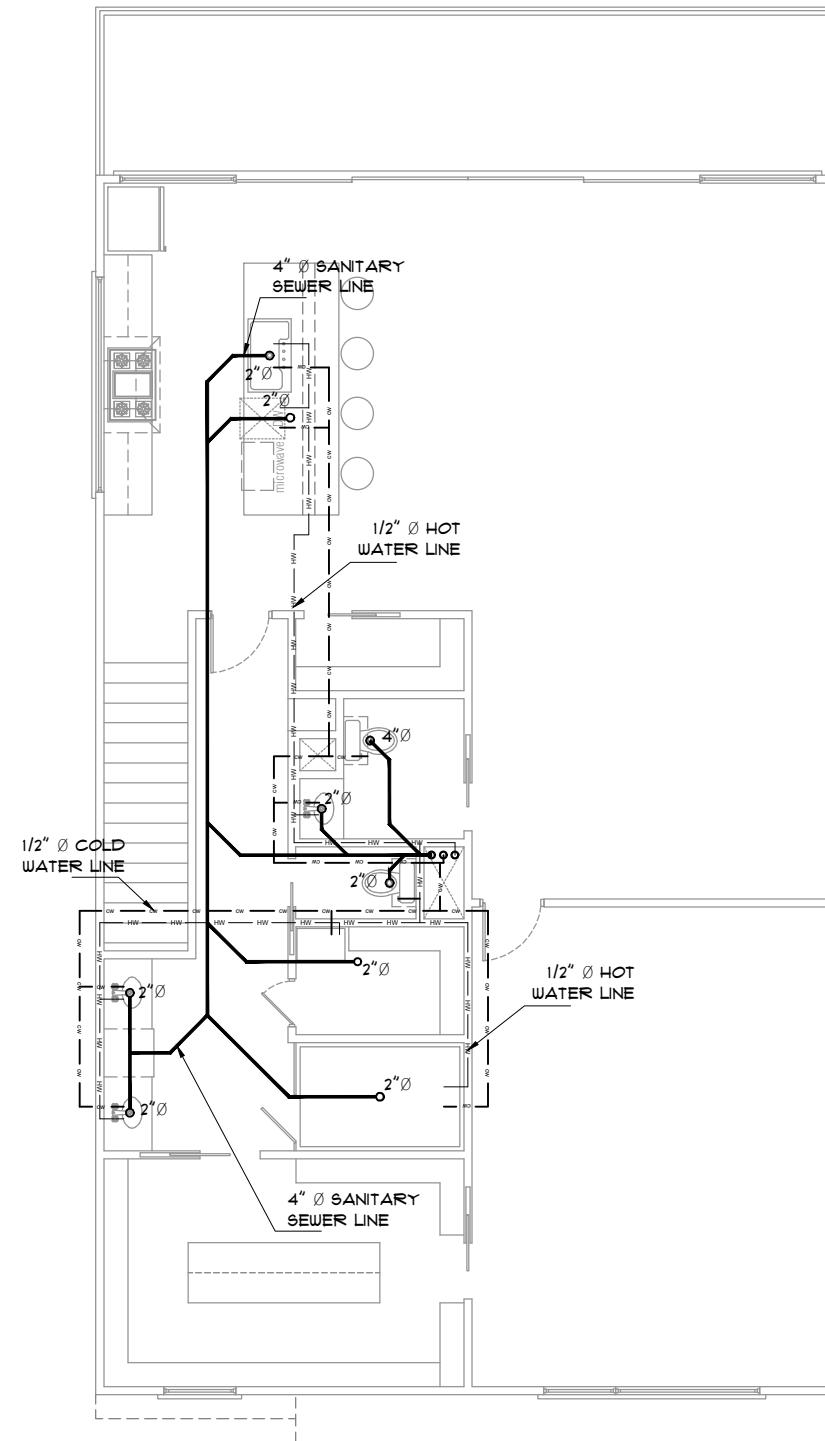
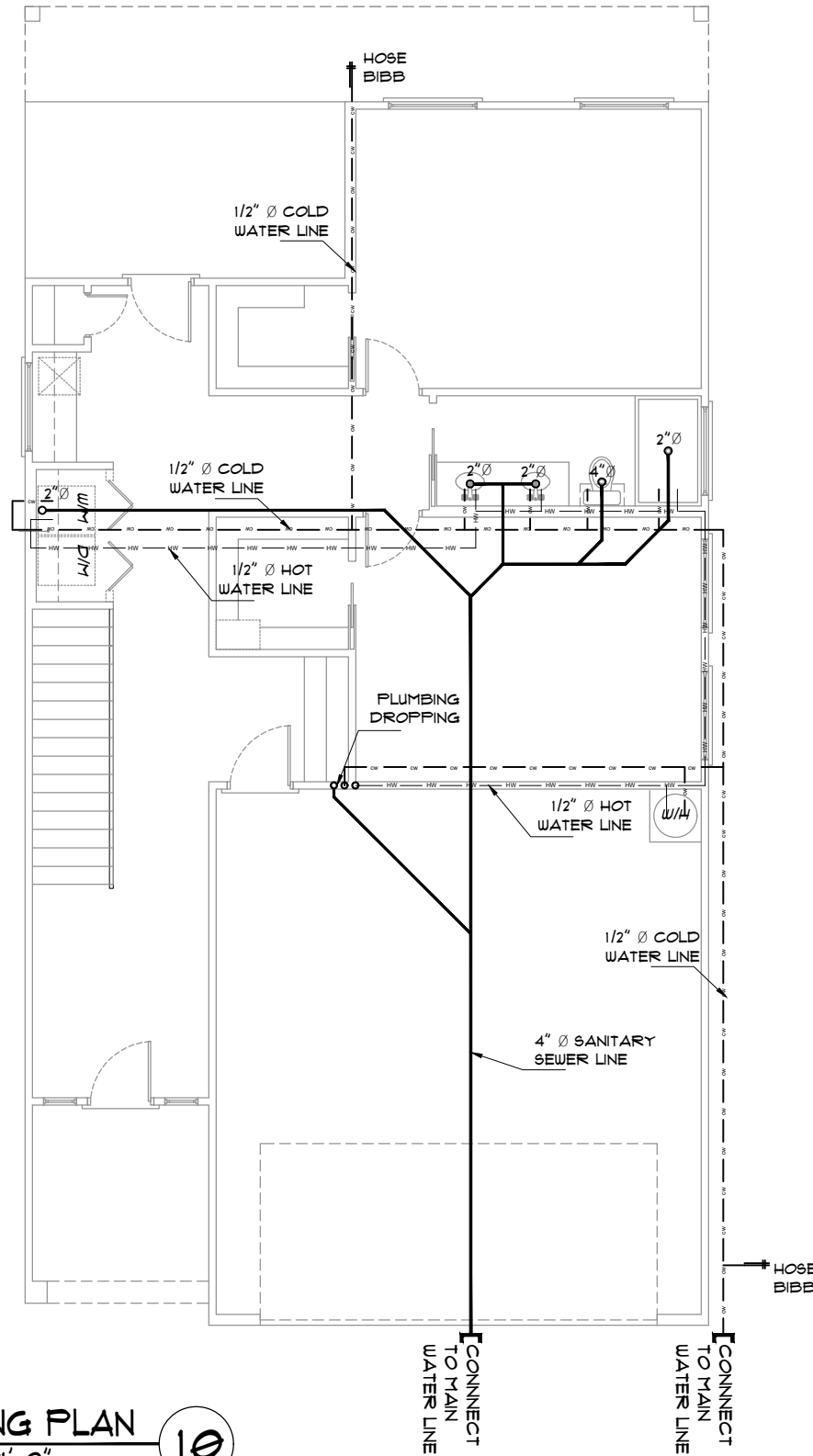
SYMBOL	ITEM DESCRIPTION
	SANITARY SEWER
	HOT WATER
	COLD WATER

PLUMBING GENERAL NOTES

- ALL PIPING SHALL BE ROUTED ABOVE CEILING UNLESS OTHERWISE INDICATED. ALL PIPING EXPOSED TO VIEW SHALL BE ROUTED AS HIGH AS POSSIBLE AND TIGHT TO THE UNDERSIDE OF STRUCTURE.
- ALL PIPING SHALL BE CONCEALED IN WALLS AND BEHIND FIXED FURNISHINGS UNLESS OTHERWISE INDICATED.
- EXPOSED PIPING IN FINISHED AREAS SHALL BE CHROME PLATED WITH CHROME PLATED ESCUTCHEON AT PIPE ENTRY TO FINISHED AREA.
- SLEEVE OR CORE-DRILL FLOOR SLABS, WALLS, ETC. AS REQUIRED FOR PIPING AND FIRE-STOP OPENING AROUND PIPE. VERIFY LOCATION OF STRUCTURAL BEAMS, JOISTS, ETC. BEFORE DRILLING.
- ALL OPENINGS IN DRAINAGE AND/OR VENT SYSTEMS AS A RESULT OF INSTALLATION ROUGH-IN SHALL BE PROTECTED WITH A TEST PLUG THAT IS SECURELY LOCKED IN PLACE UNTIL FINAL FINISHED CONNECTIONS ARE INSTALLED.
- WHEREVER FOUNDATION WALLS, OUTSIDE WALLS, ROOFS, ETC. ARE PENETRATED FOR INSTALLATION OF SYSTEMS, THEY SHALL BE PATCHED TO MATCH EXISTING CONSTRUCTION AND SEALED WEATHER TIGHT.
- PROVIDE CLEANOUTS AT THE END OF EACH HORIZONTAL RUN, AND AT THE BASE OF ALL VERTICAL WASTE AND DRAIN PIPES. CLEANOUTS SHALL BE OF THE SAME SIZE AS THE PIPES THEY SERVE.
- ACCESS PANELS SHALL BE PROVIDED WHERE CONCEALED CONTROL DEVICES, VALVES, ETC. ARE CONCEALED WITHIN WALLS. WHERE ACCESS FOR ADJUSTMENT AND MAINTENANCE IS POSSIBLE THROUGH LAY-IN SUSPENDED CEILINGS, ACCESS PANELS ARE NOT REQUIRED.
- ALL PIPING SHALL BE RUN PARALLEL TO BUILDING LINES AND SUPPORTED AND ANCHORED AS REQUIRED TO FACILITATE EXPANSION AND CONTRACTION.
- INSTALL ALL PIPING AS REQUIRED TO MEET ALL CONSTRUCTION CONDITIONS AND TO ALLOW FOR INSTALLATION OF OTHER WORK INCLUDING DUCTS AND ELECTRICAL CONDUIT.
- PROVIDE AN ISOLATING, DIELECTRIC UNION AT ALL CONNECTIONS BETWEEN FERROUS AND NONFERROUS PIPING.
- PROVIDE ALL FITTINGS, ACCESSORIES, OFFSETS, AND MATERIALS NECESSARY TO FACILITATE THE PLUMBING SYSTEM'S FUNCTIONING AS INDICATED BY THE DESIGN AND THE EQUIPMENT INDICATED.
- COORDINATE LOCATION OF FLOOR DRAINS IN MECHANICAL ROOMS WITH MECHANICAL EQUIPMENT.

MATERIALS TO USE:

PVC (POLY VINYL CHLORIDE): FOR PLUMBING WASTE LINES:
 PEX (CROSS-LINKED POLYETHYLENE): FOR WATER SUPPLY LINES:
 HOT AND COLD PIPES ARE GOING TO BE OVERHEAD.



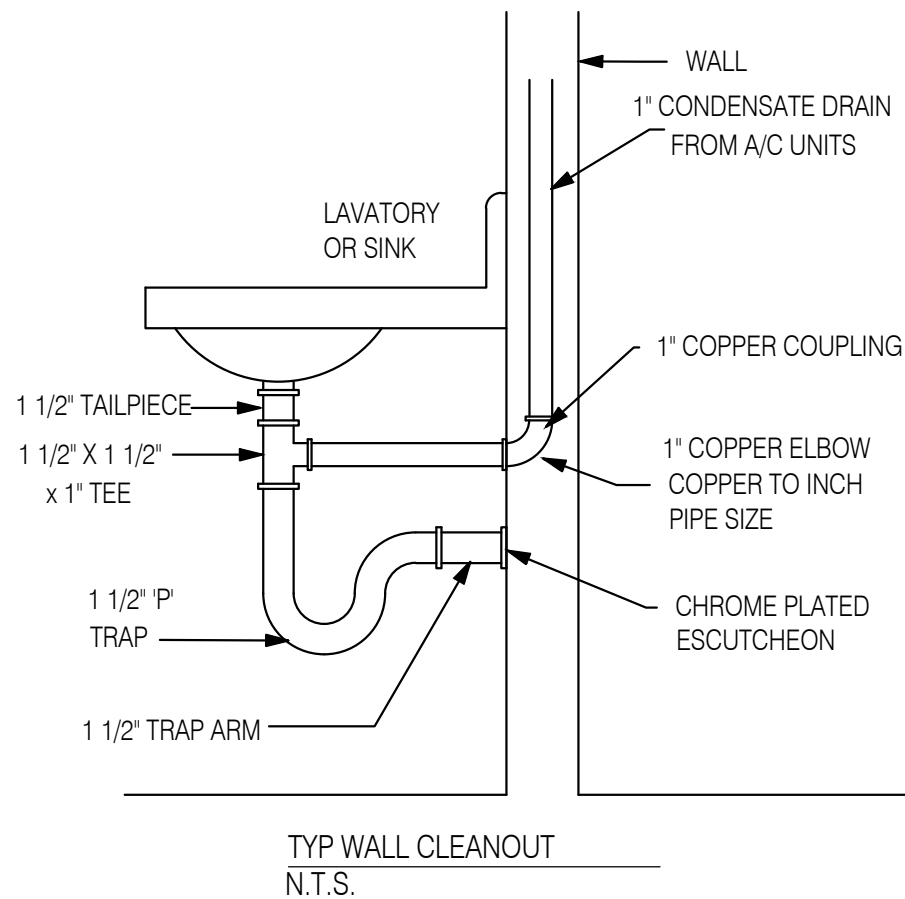
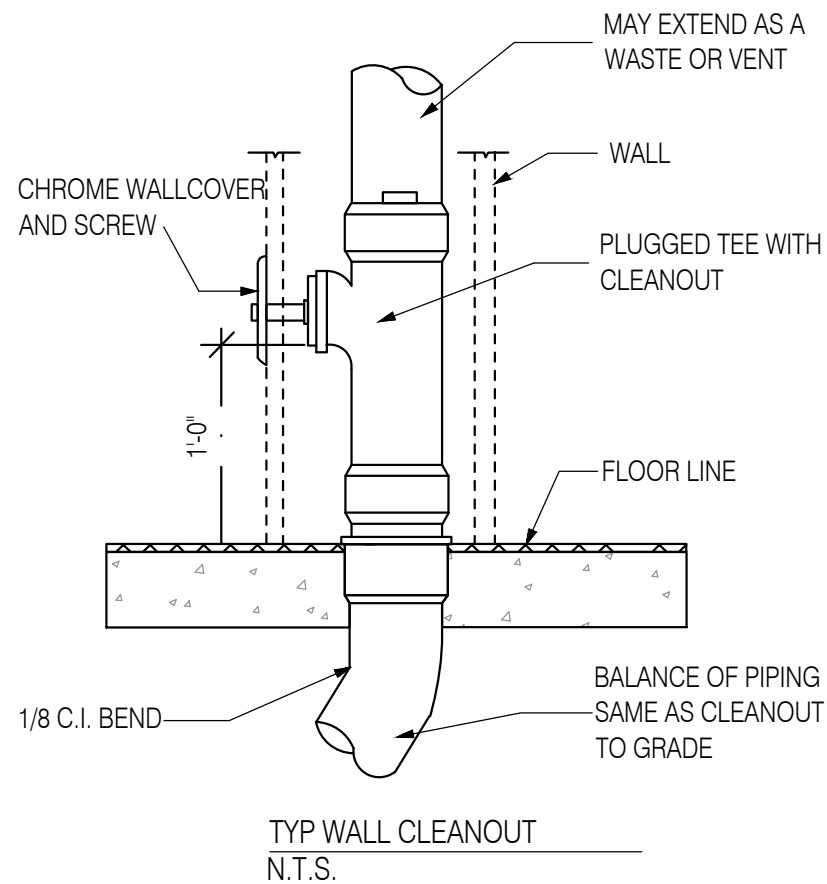
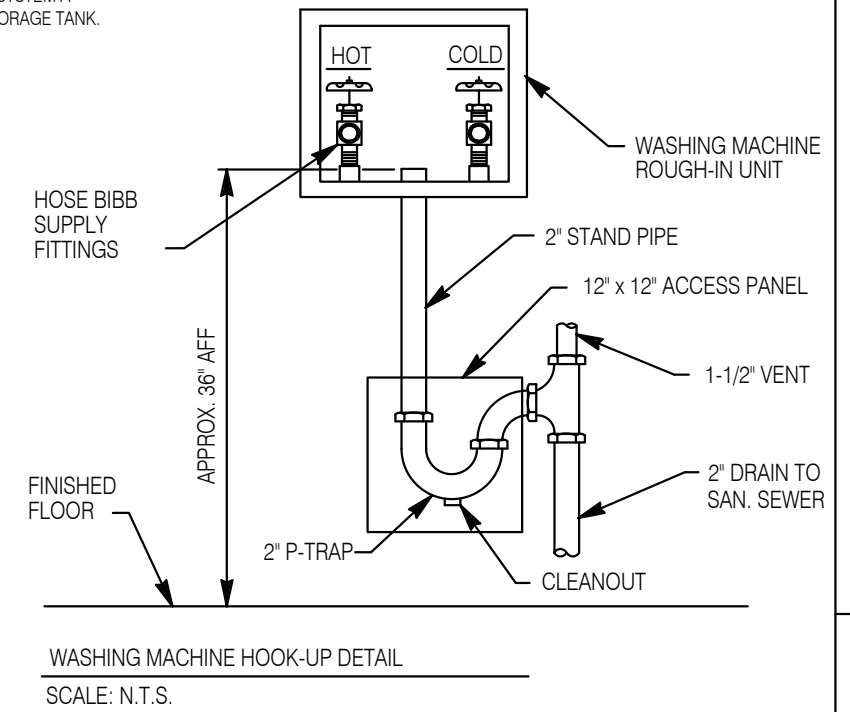
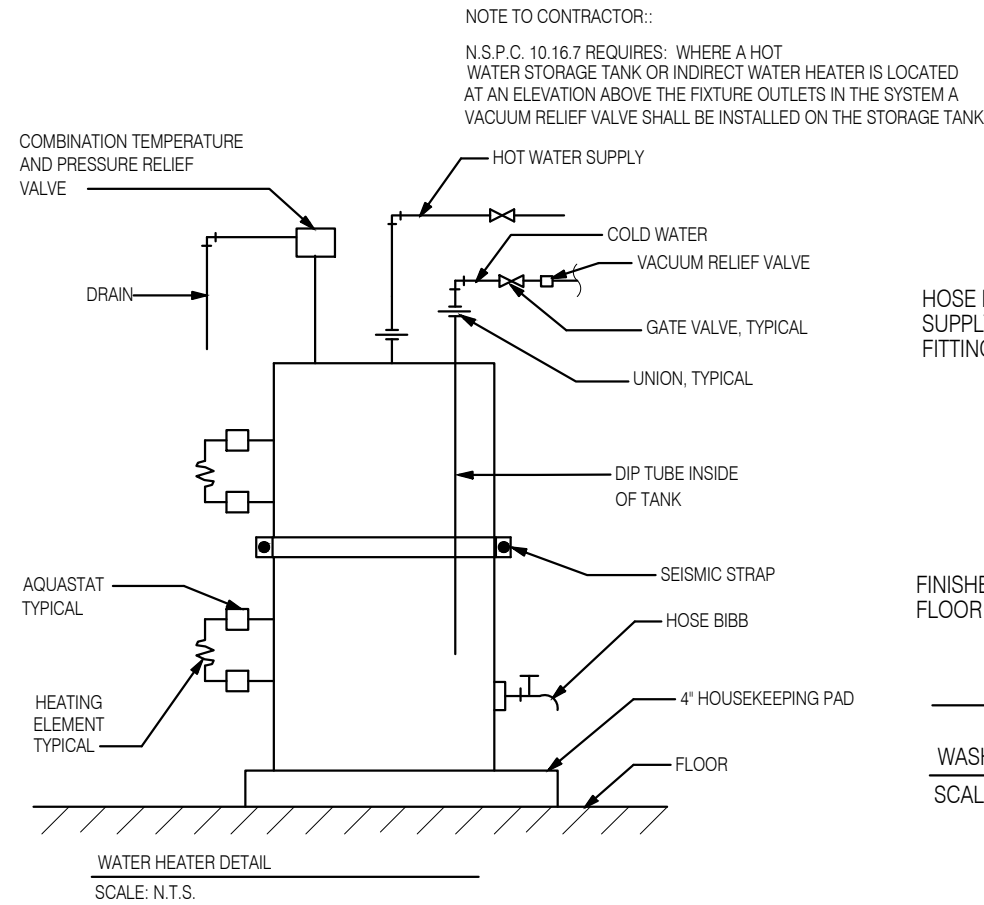
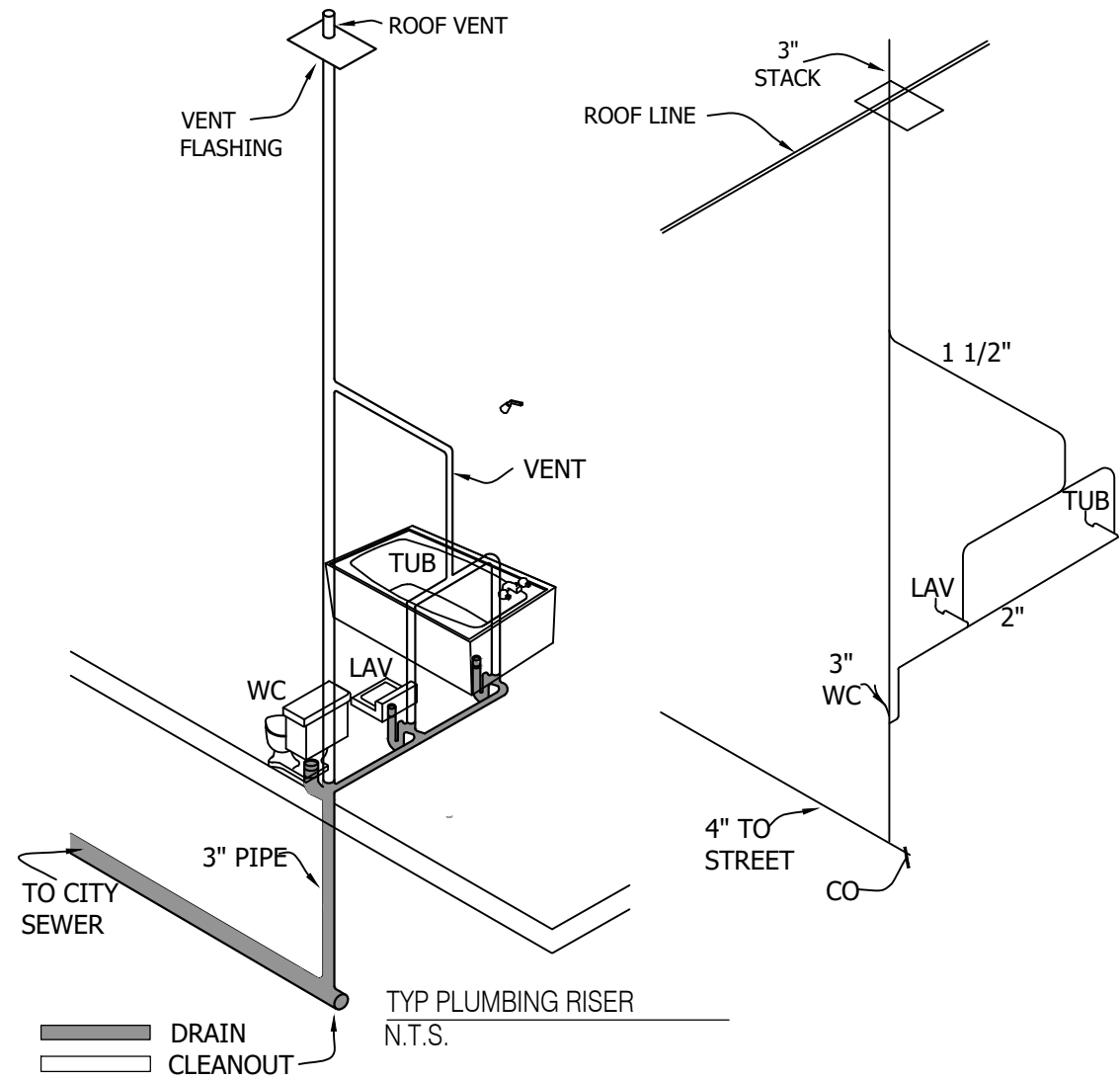
PLUMBING PLAN
 SCALE: 1/8"=1'-0"

10

THESE PLANS ARE INTENDED TO PROVIDE BASIS INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THIS STRUCTURE. THESE PLANS MUST BE REVIEWED AND CHECKED BY THE BUILDER, HOMEOWNER AND ALL CONTRACTORS OF THIS JOB PRIOR TO CONSTRUCTION. BUILDER SHOULD OBTAIN COMPLETE ENGINEERING SERVICES, HVAC, AND STRUCTURAL BEFORE BEGINNING CONSTRUCTION OF ANY KIND. NOTE: ALL FEDERAL, STATE, AND LOCAL CODES AND RESTRICTIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS. GREAT CARE AND EFFORT HAVE GONE INTO THE CREATION OF THESE BLUEPRINTS. HOWEVER, BECAUSE OF THE VARIANCE IN GEOGRAPHIC LOCATIONS, THE BUILDER MUST VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE PURCHASE OF THESE PLANS ENTITLES THE BUYER TO RENOVATE/REPLACE THE MEP DESIGN ONLY ONCE. ANY COPYING, TRACING, OR ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS.

311 VALIANT DR,
 ROCKWALL, TX 75082

PAGE TITLE: PLUMBING PLAN
 SCALE: 1/8"=1'-0"
 DATE: 4/13/2023
 PAGE: 10



FIXTURE SCHEDULE					
FIXTURE	DESCRIPTION	CW	HW	WASTE	VENT
TOILET	AMERICAN STANDARD CADET # EL 1.8 GPF 2162.170- WHITE	1/2"	-	4"	4"
LAVATORY	AMERICAN STANDARD "LUCERNE" 0356.015.020 FAUCET: CHICAGO FAUCET - 2 GAL(895-317-E29-327A-60)	1/2"	1/2"	2"	1 1/2"
SHOWER	BY OWNER 2 GPM	1/2"	1/2"	2"	1 1/2"
FLOOR CLEANOUT	PLASTIC ODDITIES #PCO-700-RS W/ SQ. MTL. TOP			4"	
EXT. CLEANOUT	PLASTIC ODDITIES #PCA-4BP W/ RECESSED HEAD BRASS PLUG			3", 4"	
WALL CLEANOUT	PLASTIC ODDITIES #PCA-4 W/ RECESSED HEAD PLASTIC PLUG INSTALLED IN PVC TEE W/ PLASTIC ODDITIES A-1212 ACCESS			4"	
WATER HEATER	OWNER SPECIFIC MODEL (MIN 60 GAL CAPACITY/EQUAL TANKLESS)			1"	1"

NOTE: 1) PROVIDE FIXTURES SPECIFIED OR EQUALS.

THESE PLANS ARE INTENDED TO PROVIDE BASIS INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THE STRUCTURE. THESE PLANS MUST BE REVIEWED AND CHECKED BY THE BUILDER, HOMEOWNER AND ALL CONTRACTORS OF THIS JOB PRIOR TO CONSTRUCTION. BUILDER SHOULD OBTAIN COMPLETE ENGINEERING SERVICES, HVAC, AND STRUCTURAL BEFORE BEGINNING CONSTRUCTION OF ANY KIND. NOTE: ALL FEDERAL, STATE, AND LOCAL CODES AND RESTRICTIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS. GREAT CARE AND EFFORT HAVE GONE INTO THE CREATION OF THESE BLUEPRINTS. HOWEVER, BECAUSE OF THE VARIANCE IN GEOGRAPHIC LOCATIONS, THE BUILDER MUST OBTAIN ALL NECESSARY PERMITS AND APPROVALS PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE PURCHASE OF THESE PLANS ENTITLES THE BUYER TO RENEW/REPLACE THE MEP DESIGN ONLY ONCE. ANY COPYING, TRACING, OR ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS.

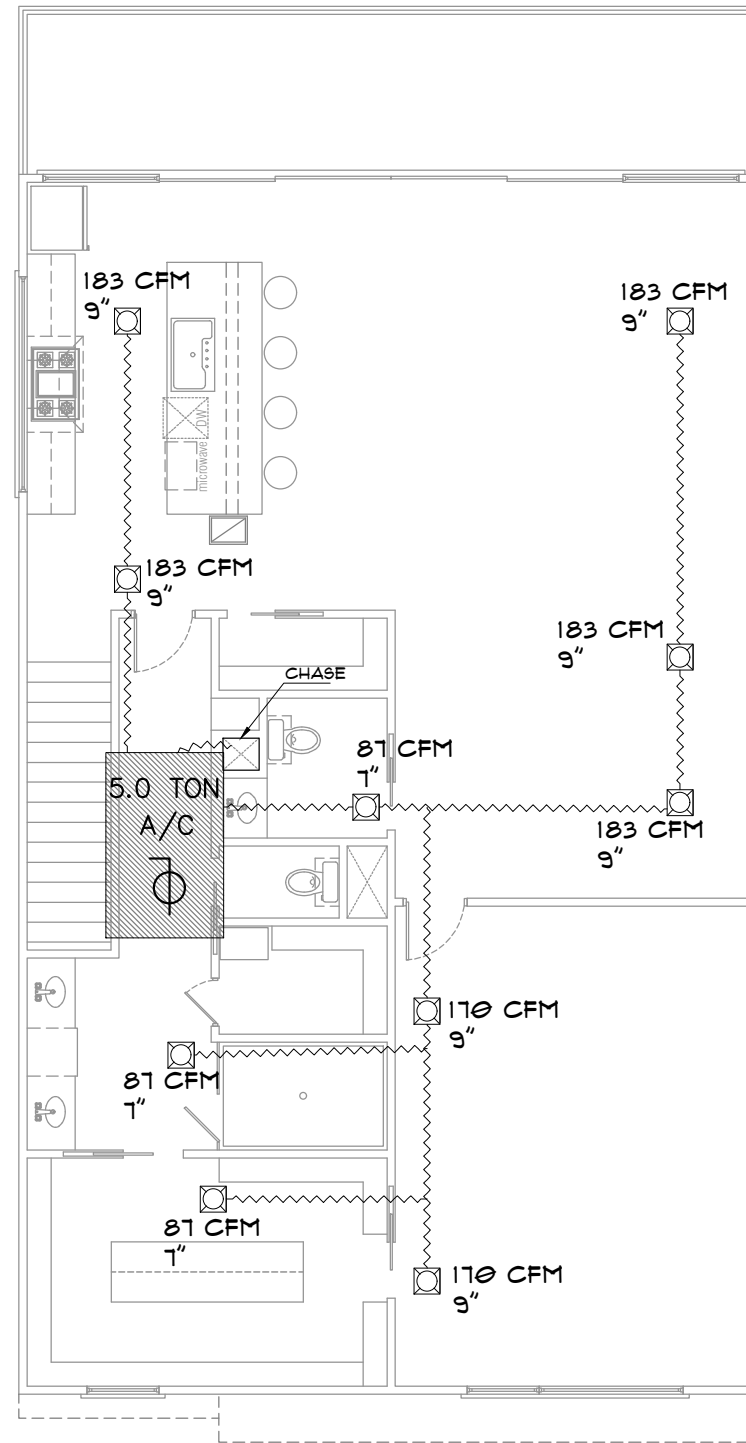
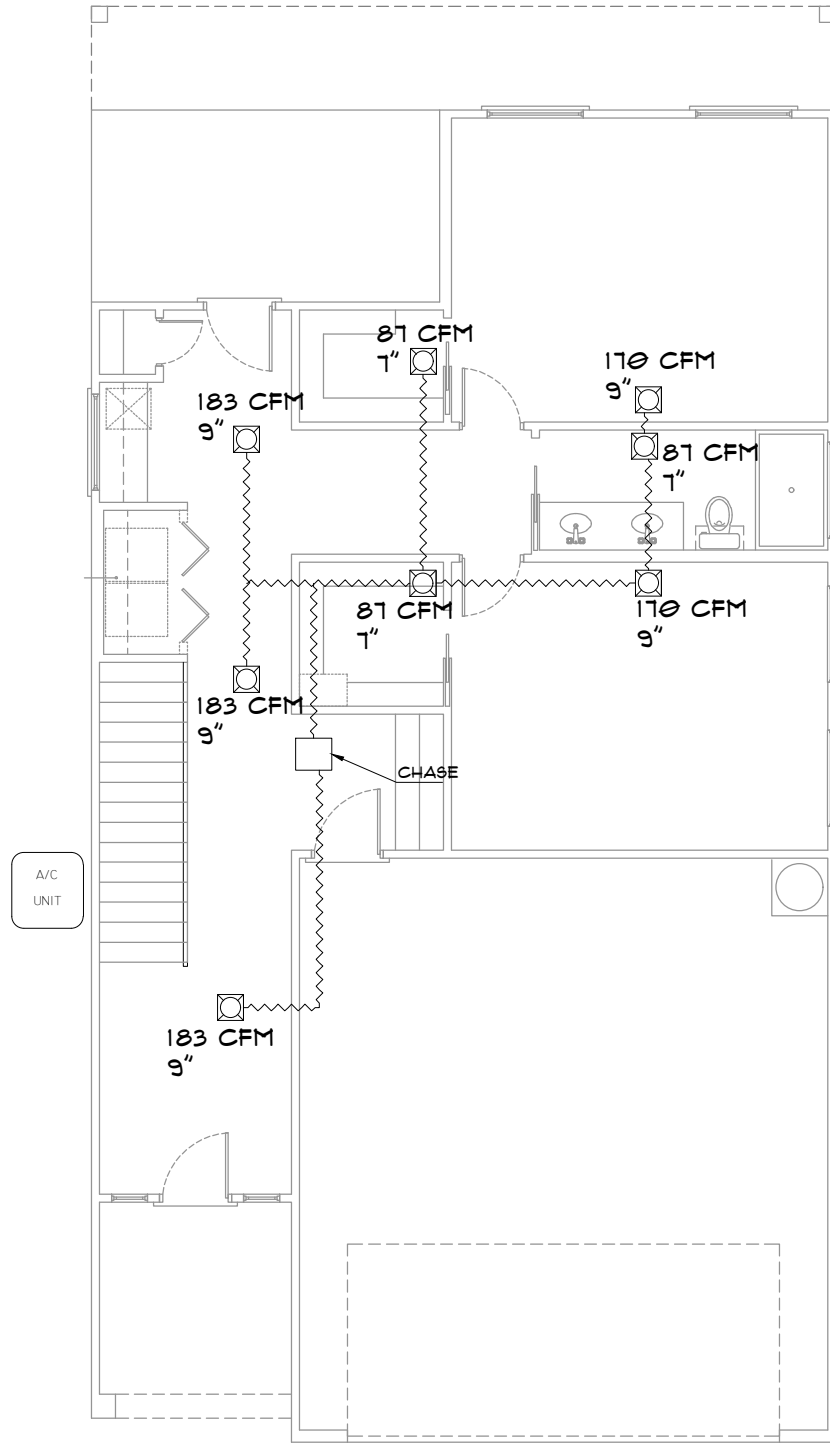
311 VALIANT DR,
ROCKWALL, TX 75082

GENERAL NOTES:

- 1 HOLD TOP OF DUCT FLAT AND USE ECCENTRIC REDUCERS TO TRANSITION THE BOTTOM OF DUCT.
- 2 BRANCH DUCT SIZE SHALL MATCH DIFFUSERS NECK SIZE, REF AIR DEVICE SCHEDULE.
- 3 ALL SUPPLY & RETURN DUCT AND PLENUMS SHALL BE LINED.
- 4 COORDINATE ACTUAL DIFFUSER AND GRILLE PLACEMENT WITH ARCHITECT'S ELECTRICAL LIGHTING PLAN.
- 5 COORDINATE ACTUAL UNIT AND FAN LOCATIONS WITH THE EXISTING STRUCTURAL FRAMING. RELOCATE UNITS AND PROVIDE ADDITIONAL FRAMING AS REQUIRED.

MECHANICAL - KEYED NOTES:

- ① COORDINATE FINAL MECHANICAL EQUIPMENT LOCATION WITH EXISTING STRUCTURAL REQUIREMENTS.
- ② INSULATED DOUBLE-WALL SPIRAL DUCT WITH MILL-GALVANIZED FINISH (SIMILAR TO LINDAB). PENETRATE THRU UPPER SOFFITT SIDEWALL. COORDINATE ROUTING WITH LIGHTS.



LEGEND	
	AIR RETURN
	A.C. LOUVER
	FLEX
	TIE IN
	5 TON- AIR HANDLING UNIT

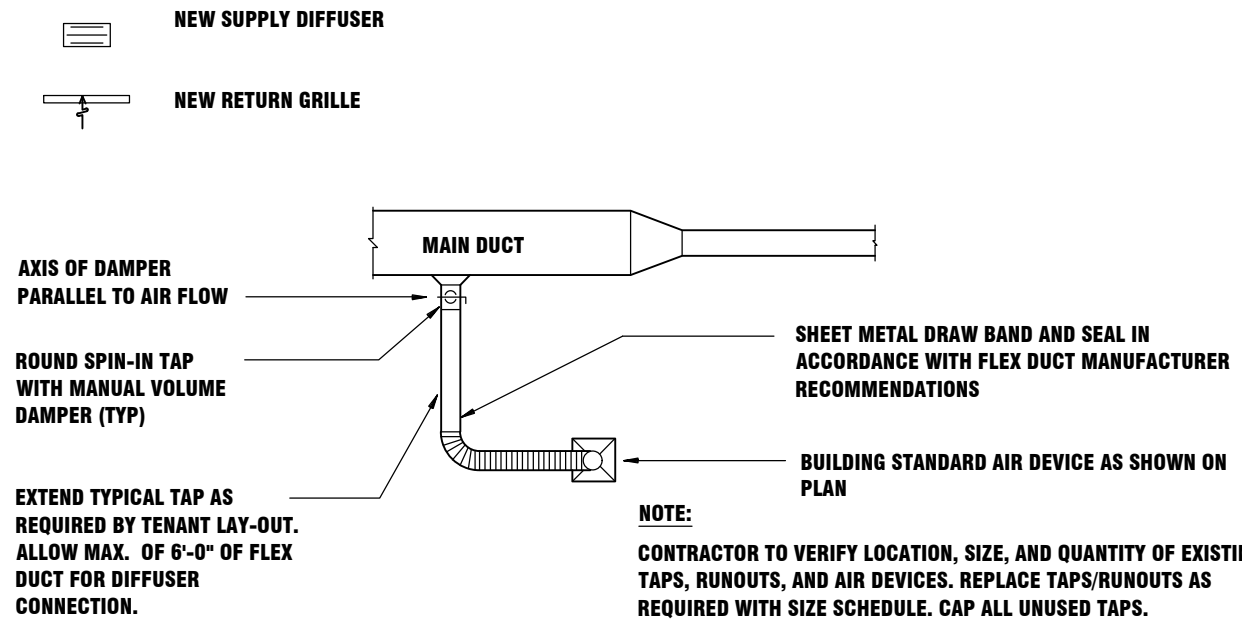
MECHANICAL PLAN
SCALE: 1/8"=1'-0"

11

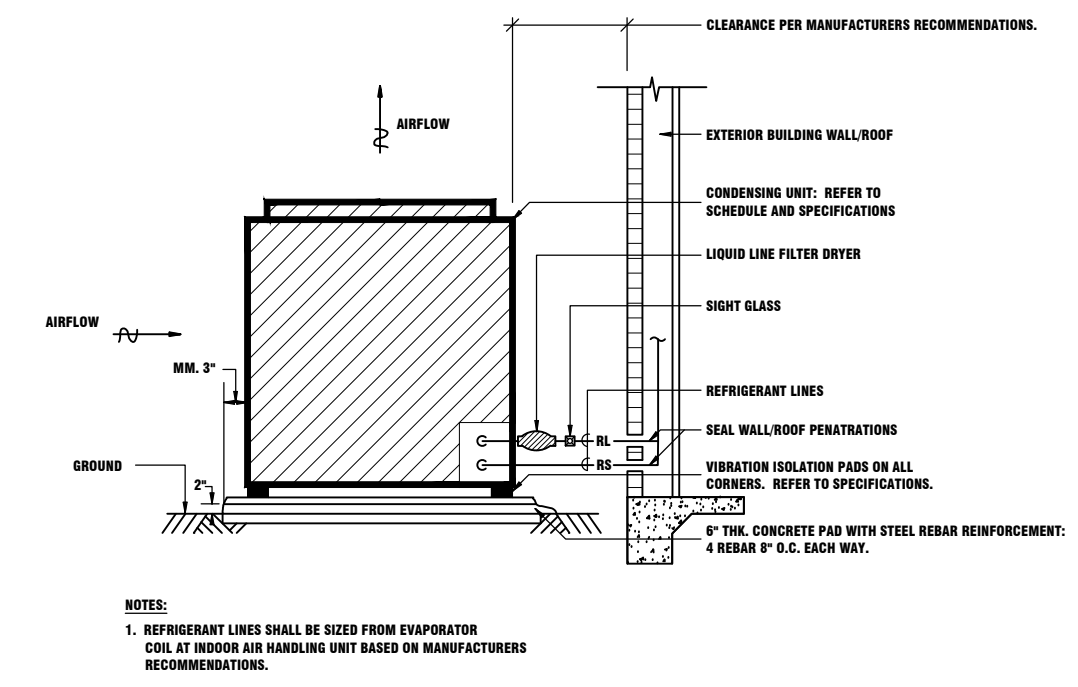
THESE PLANS ARE INTENDED TO PROVIDE BASIS INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THIS STRUCTURE. THESE PLANS MUST BE REVIEWED AND CHECKED BY THE BUILDER, HOMEOWNER AND ALL CONTRACTORS OF THIS JOB PRIOR TO CONSTRUCTION. BUILDER SHOULD OBTAIN COMPLETE ENGINEERING SERVICES, HVAC, AND STRUCTURAL BEFORE BEGINNING CONSTRUCTION OF ANY KIND. NOTE: ALL FEDERAL, STATE, AND LOCAL CODES AND RESTRICTIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS. GREAT CARE AND EFFORT HAVE GONE INTO THE CREATION OF THESE BLUEPRINTS. HOWEVER, BECAUSE OF THE VARIANCE IN GEOGRAPHIC LOCATION, THE BUILDER MUST OBTAIN ALL NECESSARY PERMITS AND APPROVALS PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE PURCHASE OF THESE PLANS ENTITLES THE BUYER TO RENOVATE/REPLACE THE MEP DESIGN ONLY ONCE. ANY COPYING, TRACING, OR ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS.

**311 VALIANT DR,
ROCKWALL, TX 75082**

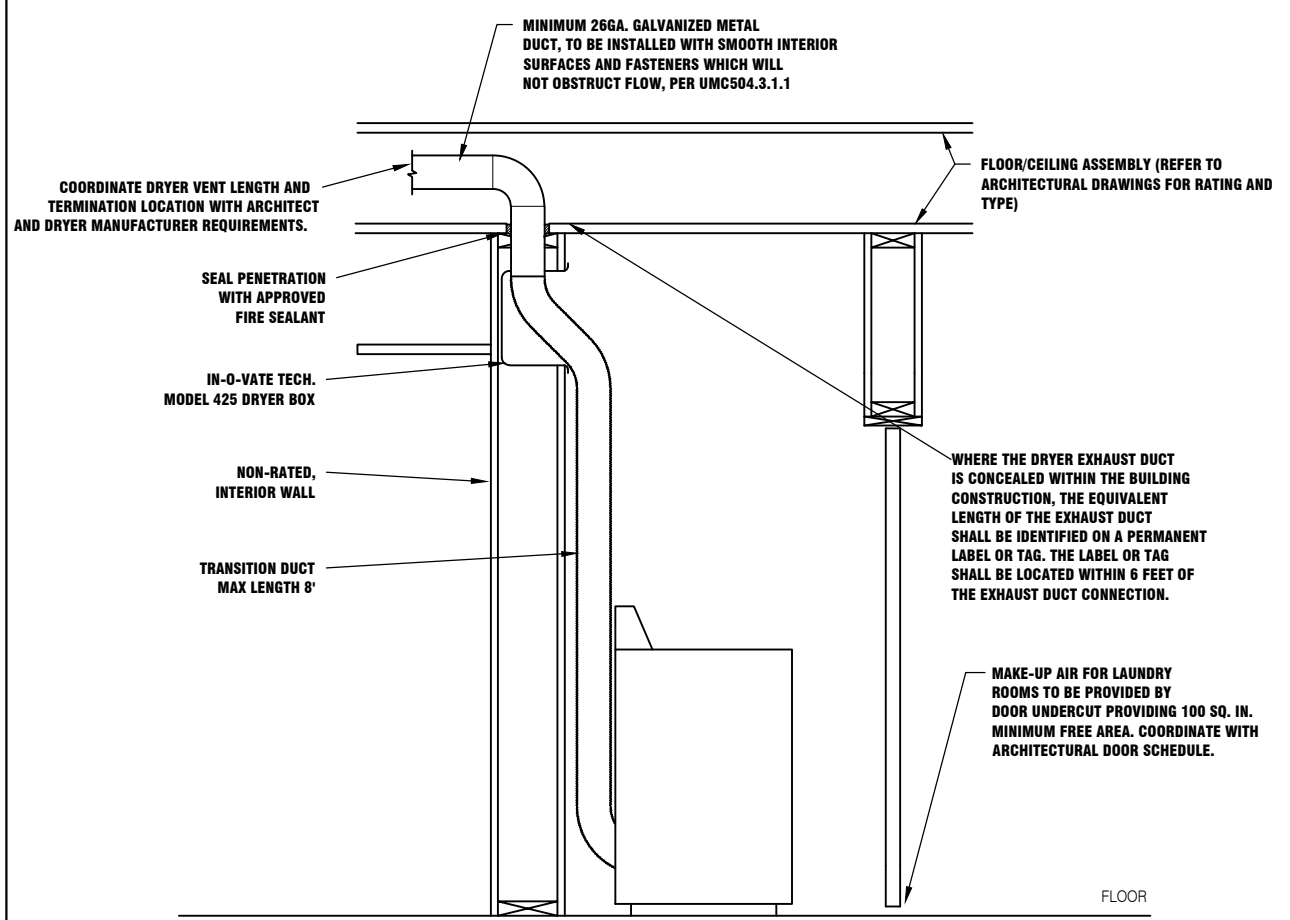
PAGE TITLE: MECHANICAL PLAN
 SCALE: 1/8" 1'-0"
 DATE: 34/13/2023
 PAGE: 11



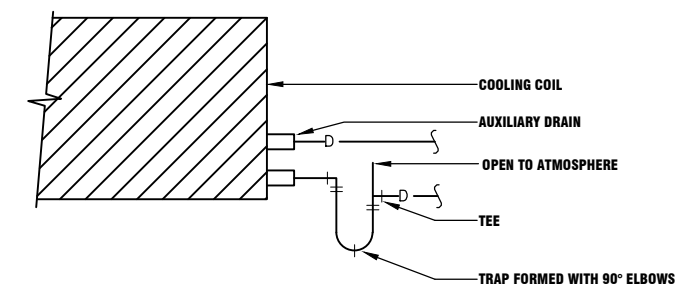
Diffuser Connection Detail
 N.T.S.



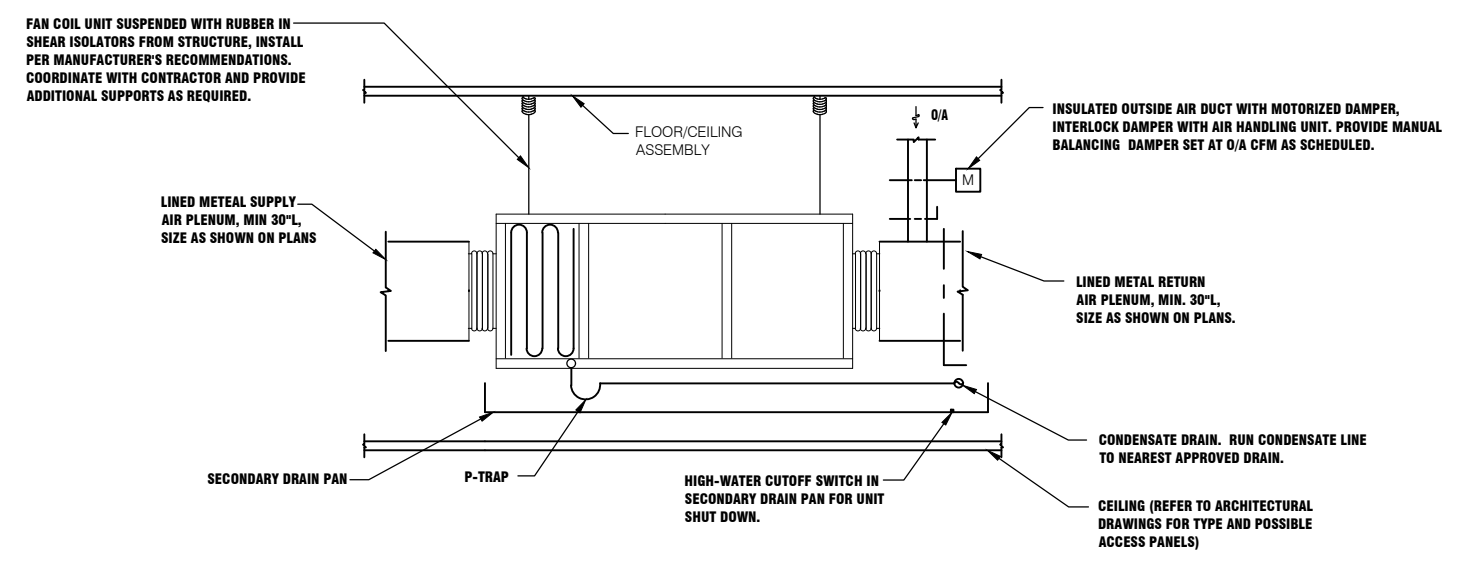
Condensing Unit Detail
 N.T.S.



Dryer Vent Detail
 N.T.S.



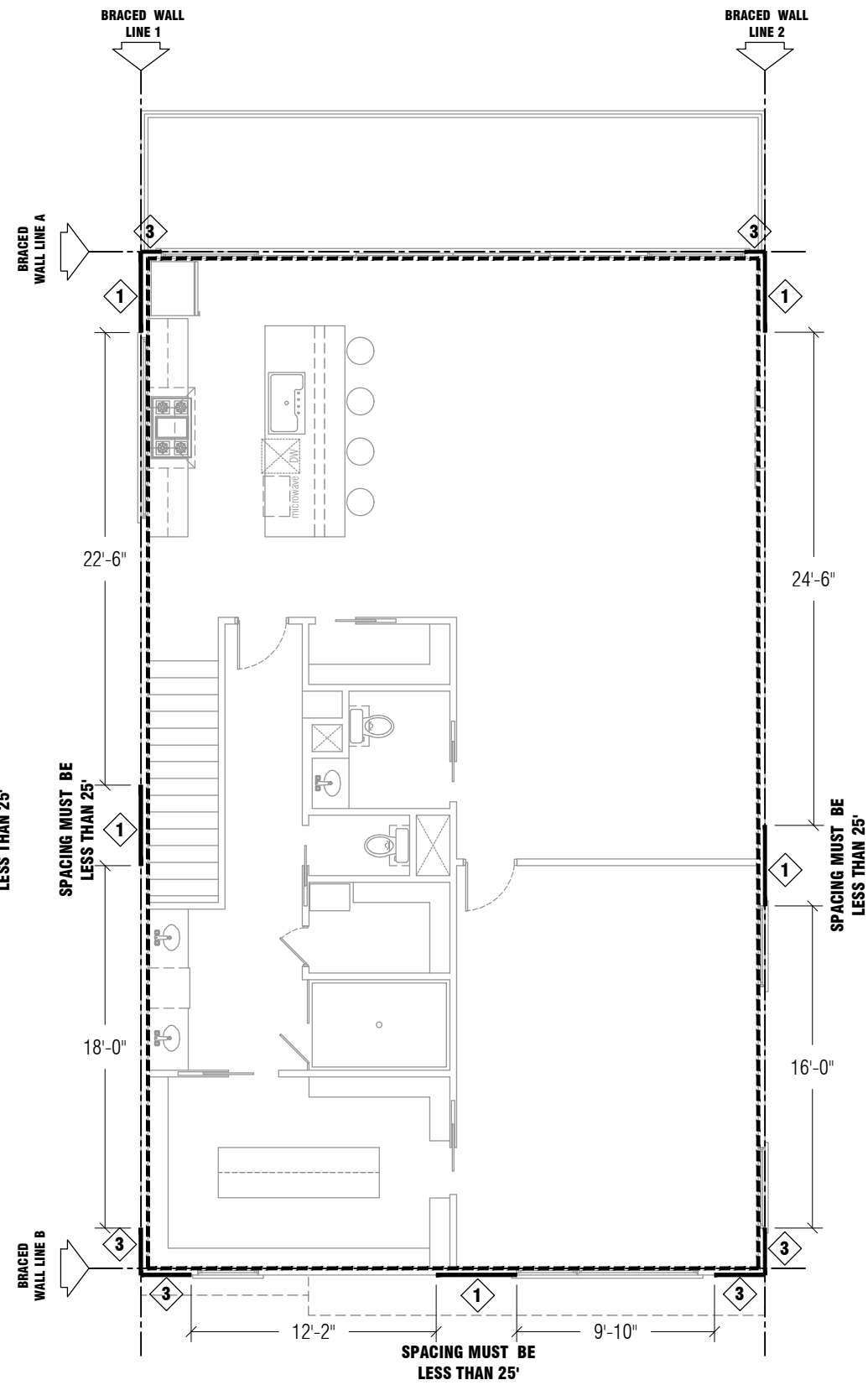
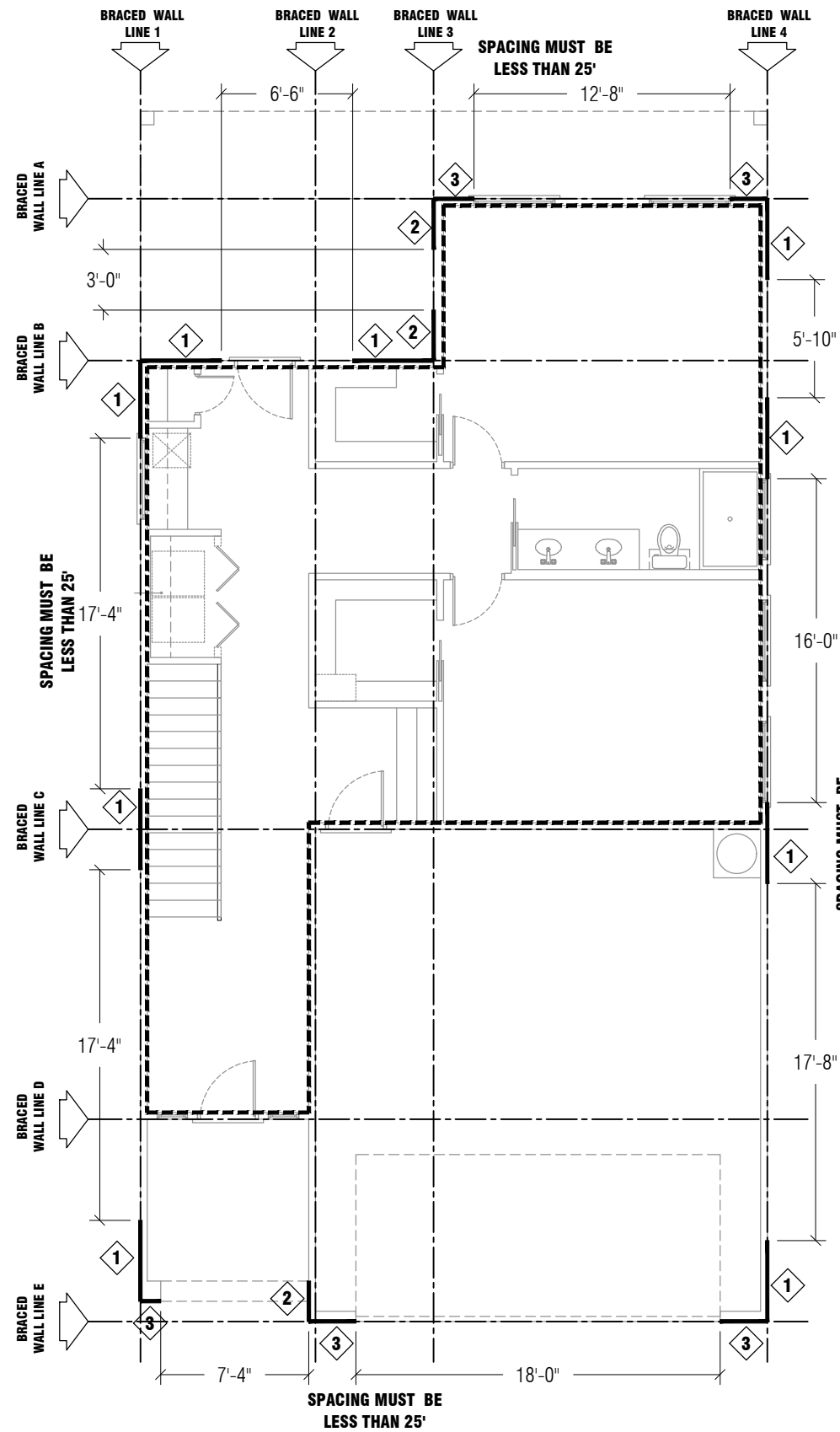
Typical Condensate Piping Detail
 N.T.S.



Typical Horizontal FCU Detail
 N.T.S.

THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBMITTALS TO BUILD THIS STRUCTURE. THESE PLANS MUST BE REVERSED AND CHECKED BY THE BUILDING OFFICIALS AND ALL CONTRACTORS PRIOR TO CONSTRUCTION. THE BUILDING OFFICIALS AND ALL CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL FEDERAL, STATE, AND LOCAL CODES AND RESTRICTIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL FEDERAL, STATE, AND LOCAL CODES AND RESTRICTIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL FEDERAL, STATE, AND LOCAL CODES AND RESTRICTIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL FEDERAL, STATE, AND LOCAL CODES AND RESTRICTIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS.

**311 VALIANT DR,
 ROCKWALL, TX 75082**



WIND BRACING PLAN
SCALE: 1/8"=1'-0"

12



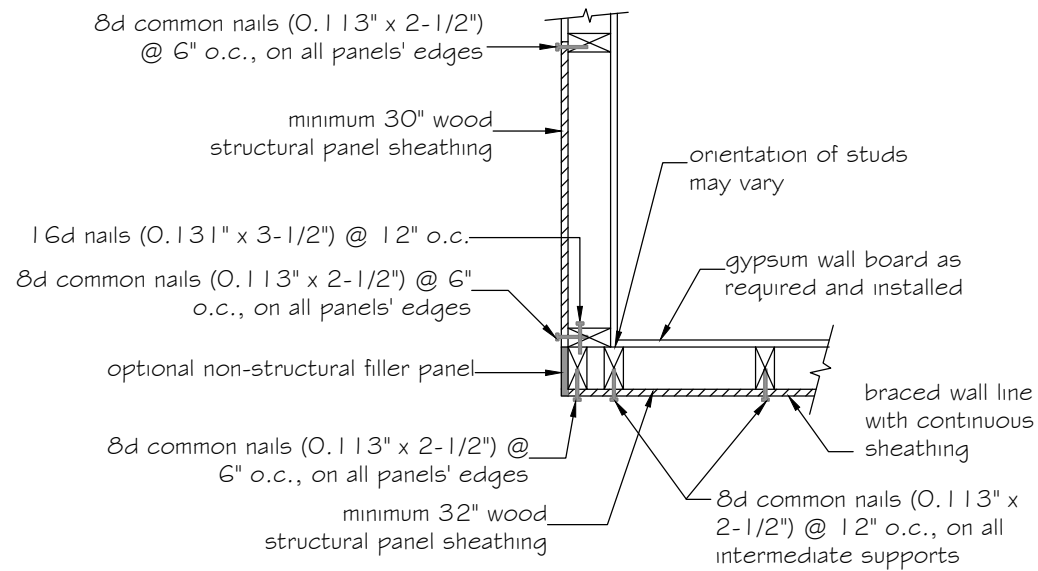
Xavier Chapa
Xavier Chapa Engineering/Surveying
Firm Number F-9156

04/13/2023

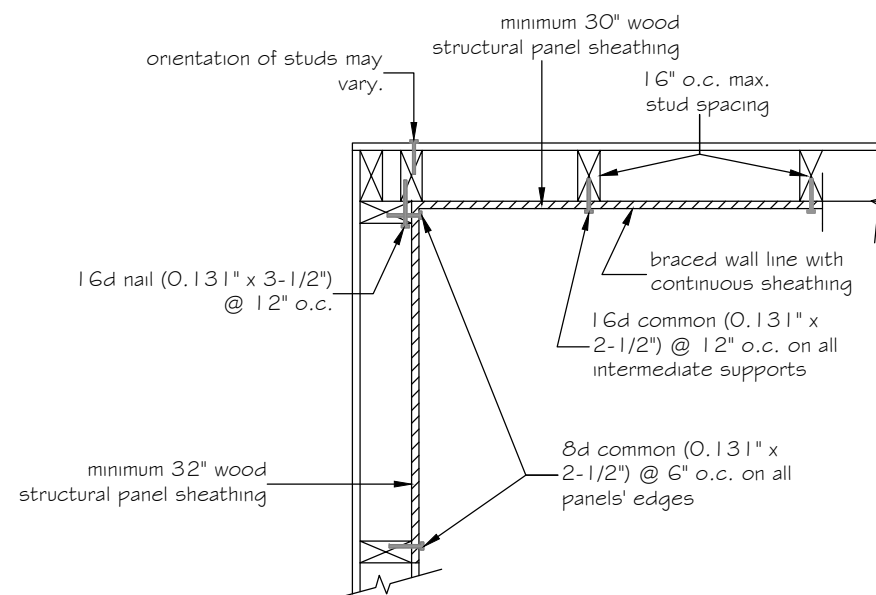
THESE PLANS ARE PREPARED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THIS STRUCTURE. THESE PLANS MUST BE REVIEWED AND CHECKED BY THE BUILDER, HOMEOWNER AND ALL CONTRACTORS OF THIS JOB PRIOR TO CONSTRUCTION. THE BUILDER SHOULD OBTAIN COMPLETE ENGINEERING SERVICES, HVAC, AND STRUCTURAL BEFORE BEGINNING CONSTRUCTION OF ANY KIND. NOTE: ALL FEDERAL, STATE, AND LOCAL CODES AND RESTRICTIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS. GREAT CARE AND EFFORT HAVE GONE INTO THE CREATION OF THESE BLUEPRINTS. HOWEVER, BECAUSE OF THE VARIANCE IN GEOGRAPHIC LOCATION, THE BUILDER MUST VERIFY ALL DIMENSIONS AND CONDITIONS OF THE PROJECT PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE PURCHASE OF THESE PLANS ENTITLES THE BUYER TO RENOVATE/REPLACE THE MEP DESIGN ONLY ONCE. ANY COPYING, TRACING, OR ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS.

311 VALIANT DR,
ROCKWALL, TX 75082

PAGE TITLE:	WIND BRACING PLAN
SCALE:	1/8"=1'-0"
DATE:	4/13/2023
PAGE:	11



(a) Outside corner detail
Scale: n.t.s.



(b) Inside corner detail
Scale: n.t.s.

THIS DESIGN MEETS THE 2015 IRC REQUIREMENTS.

LEGEND	
1	48" Braced Wall Panel
2	30" Braced Wall Panel
3	24" Braced Wall Panel

Design Specs:
 1. For winds speeds < 115mph, one story, 8' wall height
 2. CS-WSP (continuously sheathed wood structural panel) method to be used.
 3. Minimum wood structural panel thickness to be 3/8"

GENERAL NOTES:	SYMBOL
-BRACED WALL LINE	
-BRACED WALL PANEL DASHED LINE INDICATES STRUCTURAL SHEATHING.	
-BRACED WALL PANEL SEE DETAILS A & B	

MAX. STUD SPACING	FASTENING TYPE	MAXIMUM FASTENER SPACING
16"	8d OR 16d COMMON NAILS	6" - PANEL EDGES 12"-INTERMEDIATES SUPPORTS

NOTE:
 1. FOR THE TOP PLATE HEIGHTS EQUAL TO OR LESS THAN 12'-0" PROVIDE 2x4 CONTINUOUS STUDS @ 16" O.C. FOR TOP PLATE HEIGHTS ABOVE 12'-0" TO 17'-0", PROVIDE 2x6 CONTINUOUS STUDS @ 16" O.C.
 2. PROVIDE 2x6 @ 16" O.C. WALL STUDS SUPPORTING TWO FLOOR AND ROOF WITH MAX. 10' PLATE HEIGHT IN ACCORDANCE WITH TABLE R602.3.5 OF 2015 & 2015 I.R.C.

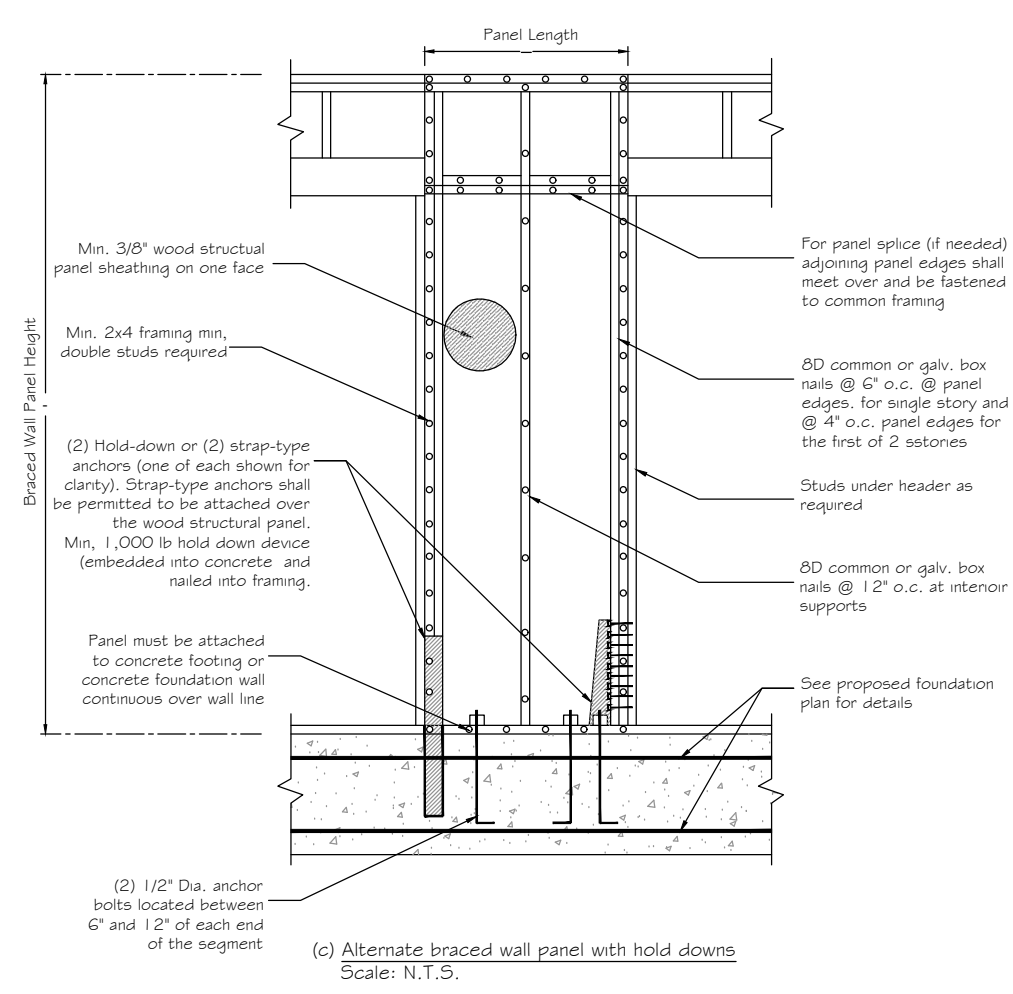
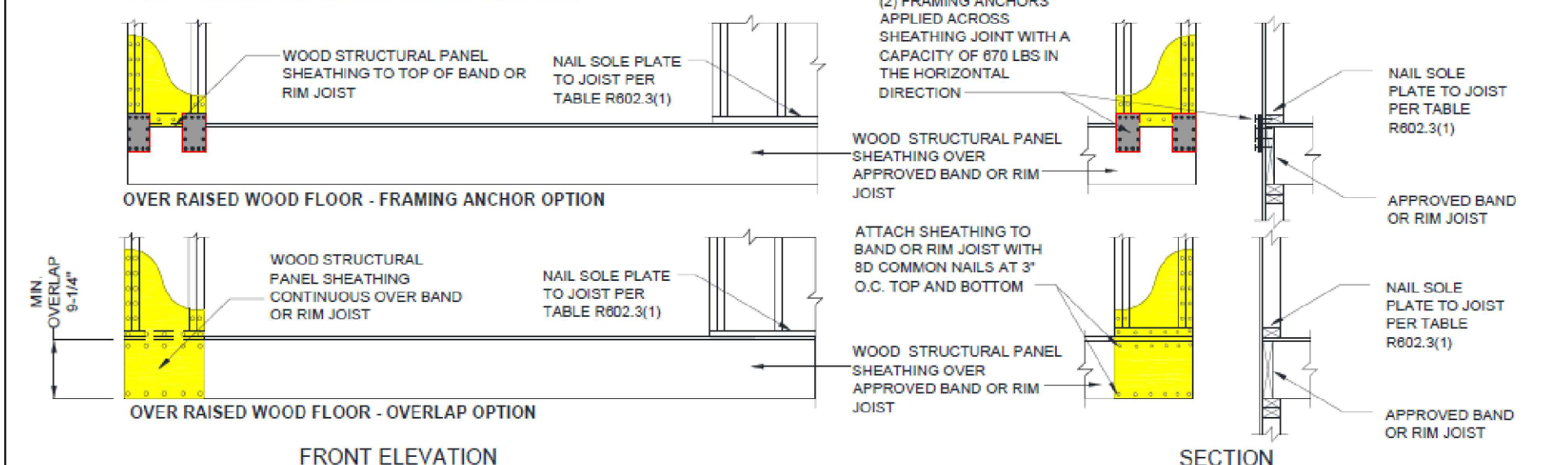
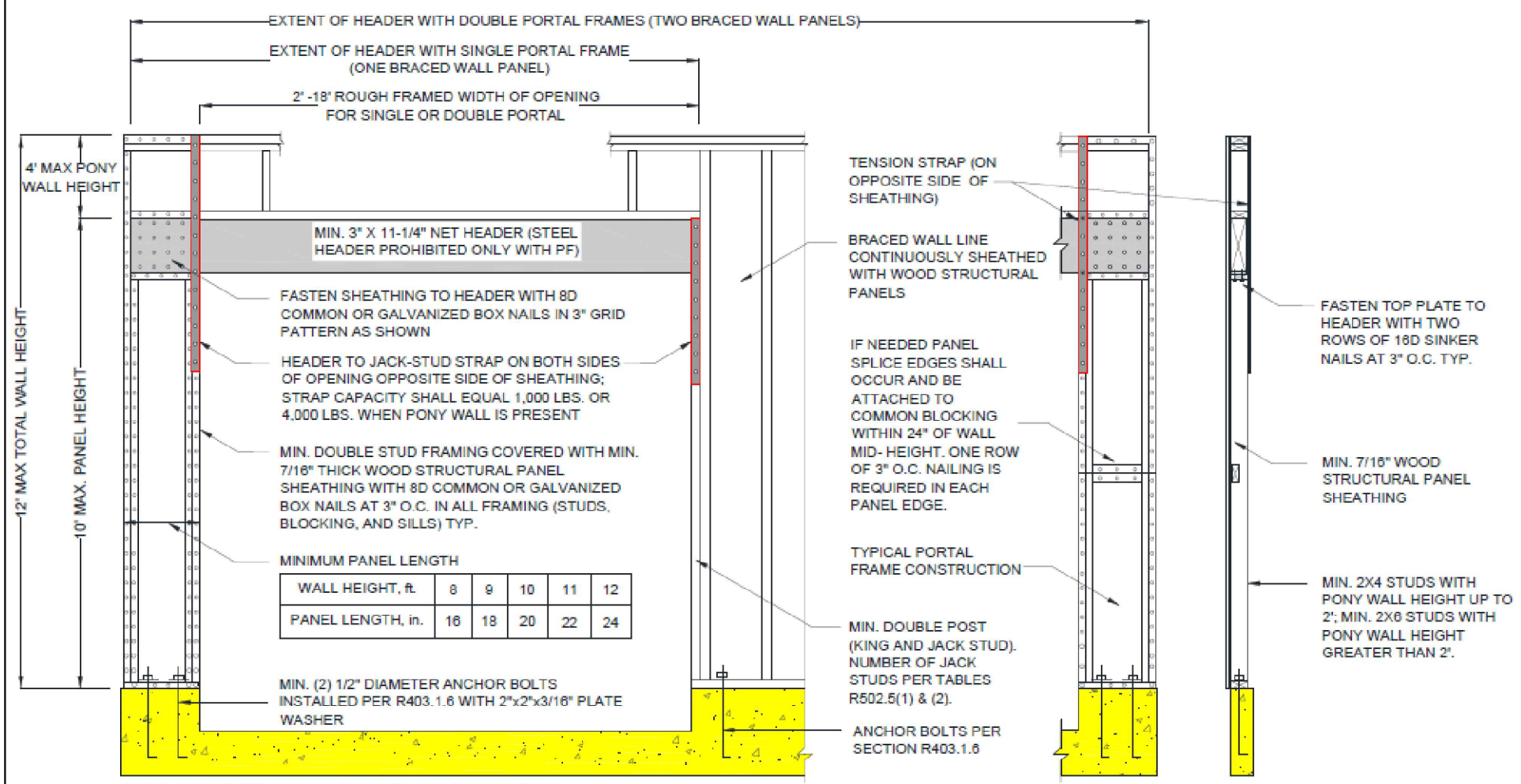
THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBMITTALS. BUILD THE STRUCTURE. THESE PLANS MUST BE REVIEWED AND CHECKED BY THE BUILDER, HOMEOWNER AND ALL CONTRACTORS OF THIS JOB PRIOR TO CONSTRUCTION. THE BUILDER SHOULD OBTAIN COMPLETE ENGINEERING SERVICES, HVAC, AND STRUCTURAL BEFORE BEGINNING CONSTRUCTION OF ANY KIND. NOTE: ALL FEDERAL, STATE, AND LOCAL CODES AND RESTRICTIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS. THE ENGINEER HAS MADE NO ATTEMPT TO VERIFY THE ACCURACY OF THE INFORMATION PROVIDED BY THE OWNER/BUILDER. THE ENGINEER'S LIABILITY IS LIMITED TO THE PURCHASE OF THESE PLANS. THE BUYER TO RENOVATE/REPLACE THE MEP DESIGN ONLY ONCE. ANY COPYING, TRACING, OR ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS.

311 VALIANT DR,
 ROCKWALL, TX 75082



Xavier Chapa
 Xavier Chapa Engineering/Surveying
 Firm Number F-9156

04/13/2023



STATE OF TEXAS
XAVIER CHAPA
42335
LICENSED PROFESSIONAL ENGINEER

Xavier Chapa
Xavier Chapa Engineering/Surveying
Firm Number F-9156

04/13/2023

CITY OF ROCKWALL

ORDINANCE NO. 23-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 8 (PD-8) AND THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.1278-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 6, BLOCK C, OF THE CHANDLER'S LANDING #16 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Chris Curra for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.1278-acre parcel of land identified as Lot 6, Block C, of the Chandler's Landing #16 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for zero lot line homes, addressed as 311 Valiant Drive, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that Planned Development District 8 (PD-8) and the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That Planned Development District 8 (PD-8) and the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in

Planned Development District 8 (PD-8) and Subsection 03.01, *General Residential District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'A'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'B'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 17th DAY OF JULY, 2023.**

Trace Johannesen, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: June 19, 2023

2nd Reading: July 17, 2023

Exhibit 'A':
Location Map and Residential Plot Plan

Address: 311 Valiant Drive

Legal Description: Lot 6, Block C, Chandler's Landing #16 Addition

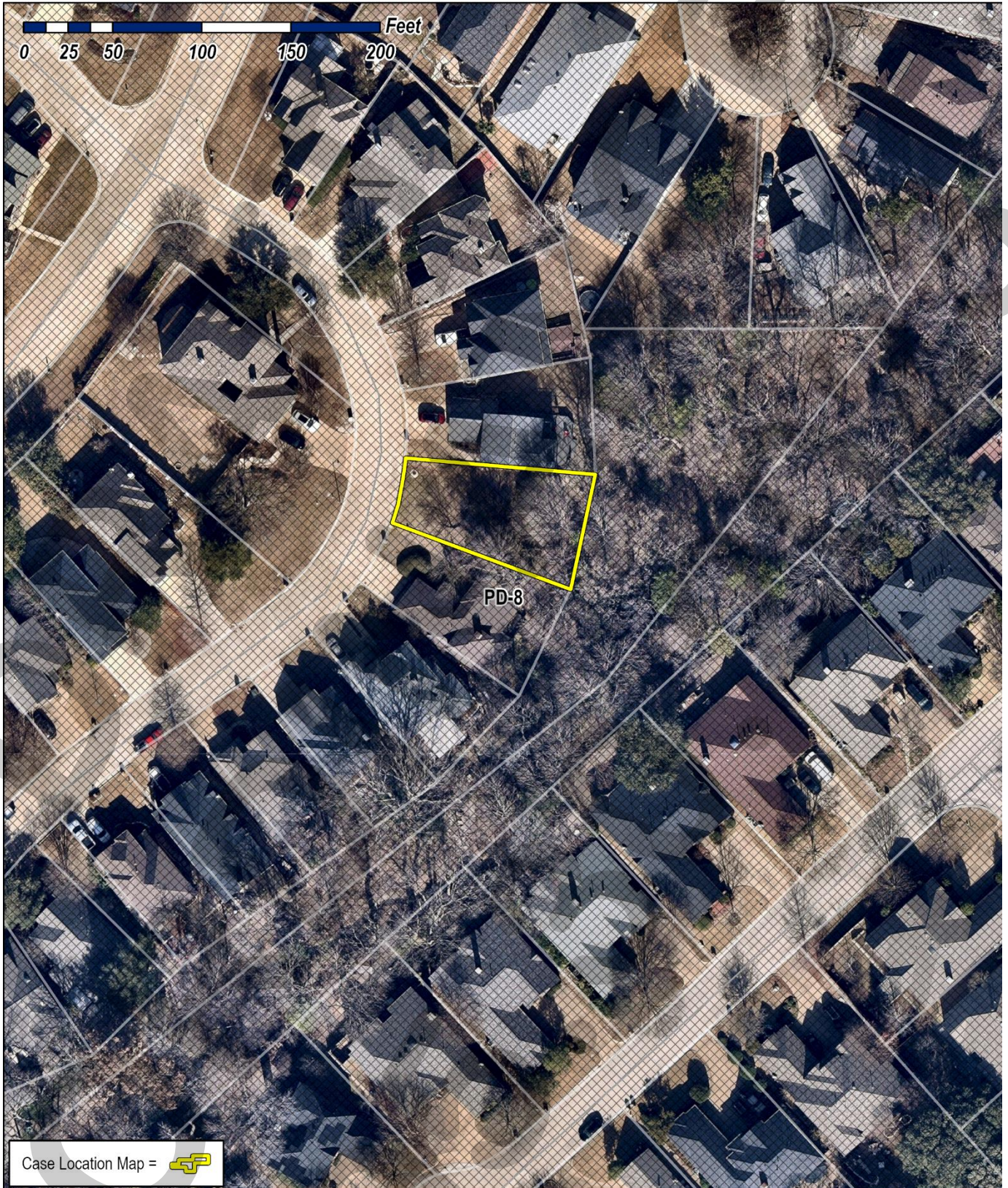


Exhibit 'A':
Location Map and Residential Plot Plan

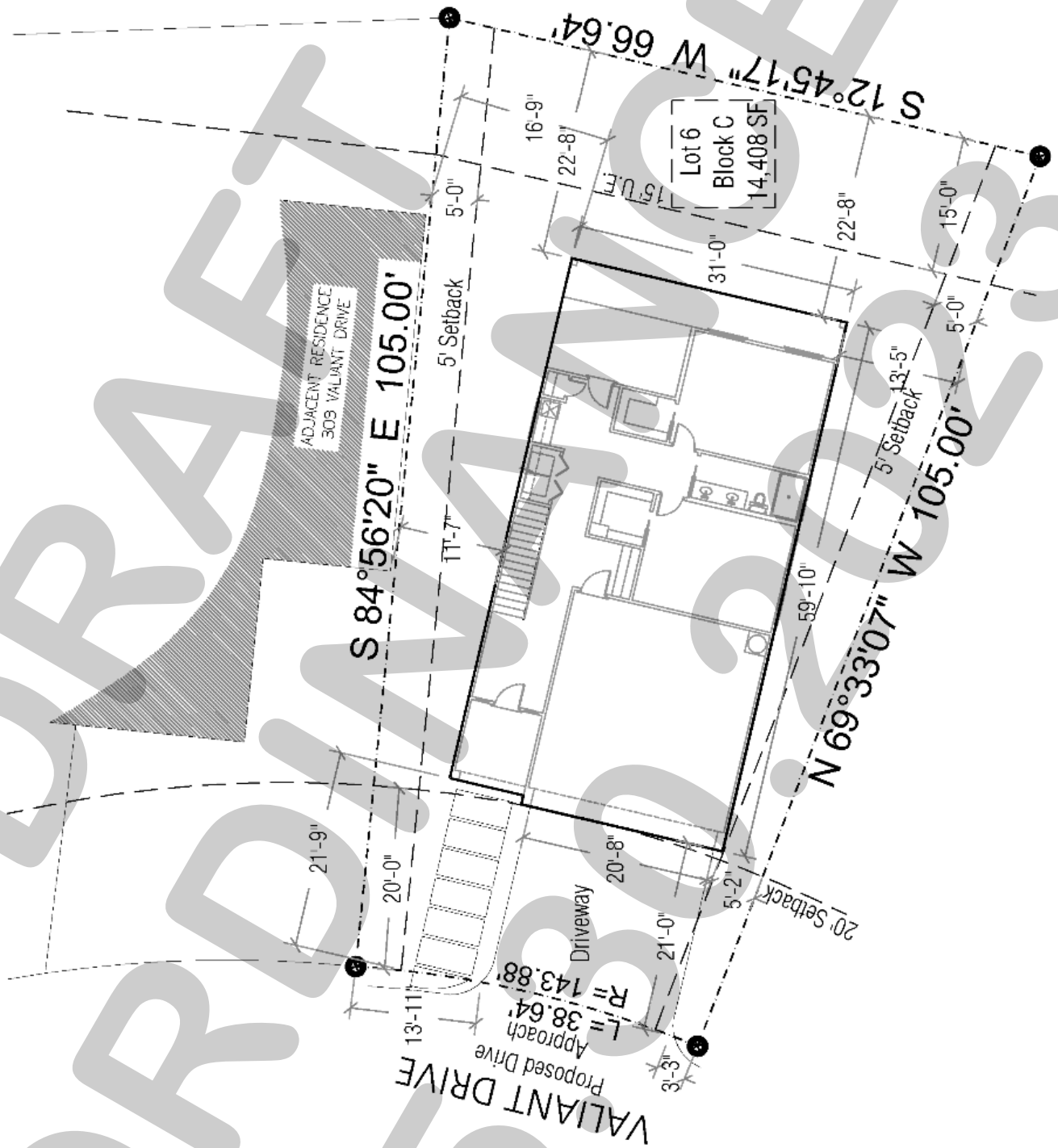
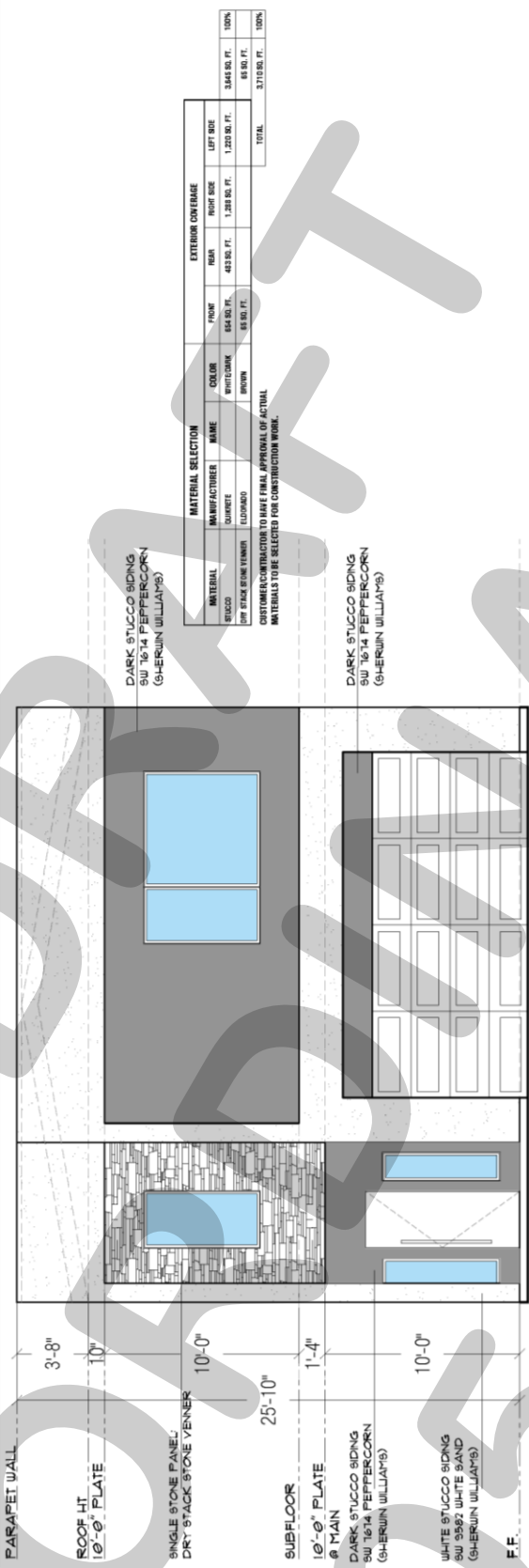
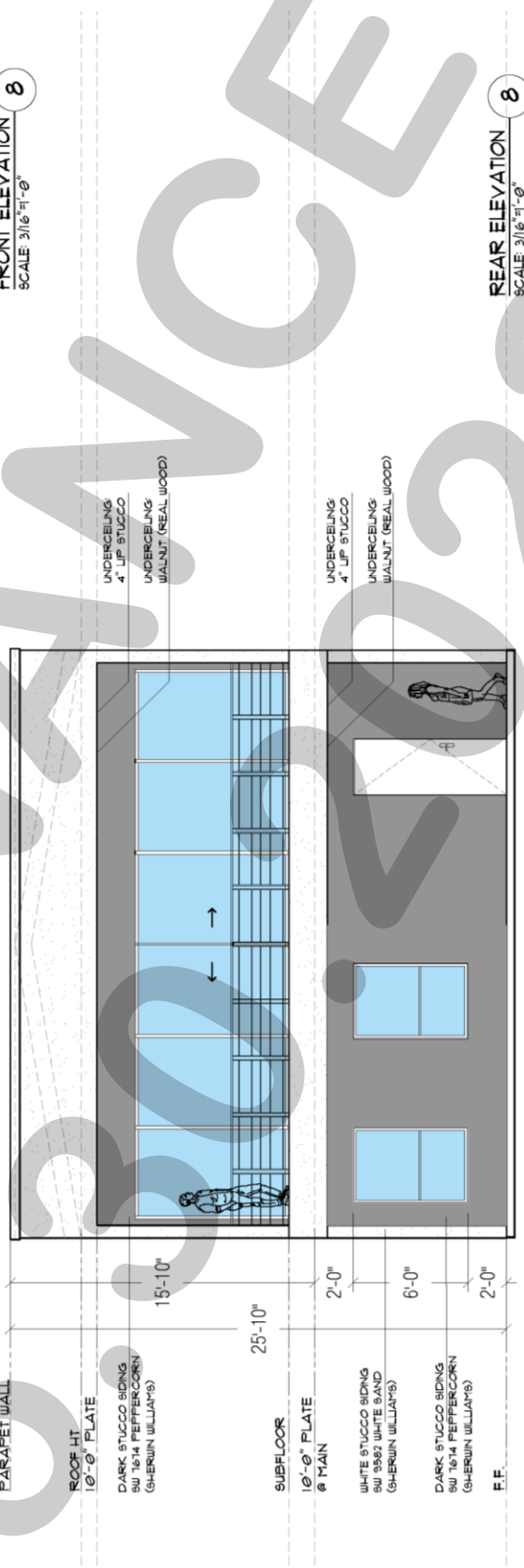


Exhibit 'B':
Building Elevations



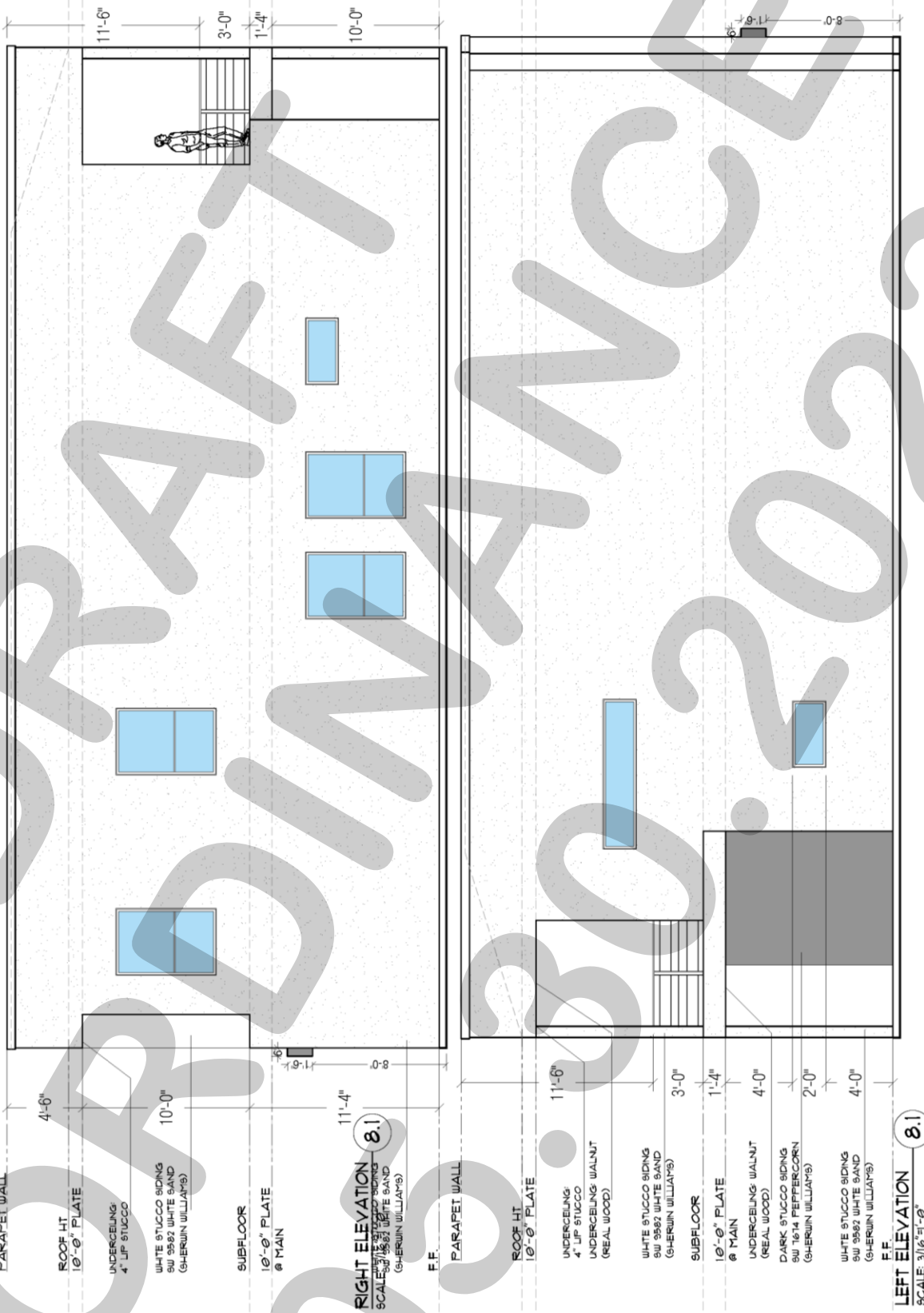
MATERIAL SELECTION		EXTENSIVE COVERAGE	
MATERIAL	MANUFACTURER	THICKNESS	AREA
DARK STUCCO SIDING SW 1614 PEFFERCORN (SHERWIN WILLIAMS)	QUARTZ	483 SQ. FT.	1,200 SQ. FT.
WHITE STUCCO SIDING SW 9382 WHITE SAND (SHERWIN WILLIAMS)	QUARTZ	68 SQ. FT.	68 SQ. FT.
TOTAL		551 SQ. FT.	1,268 SQ. FT.

FRONT ELEVATION 8
SCALE: 3/16"=1'-0"



REAR ELEVATION 8
SCALE: 3/16"=1'-0"

Exhibit 'B':
Building Elevations



PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 5/25/2023

PROJECT NUMBER: Z2023-025
PROJECT NAME: Specific Use Permit for an Accessory Building at 3065 Winecup Lane
SITE ADDRESS/LOCATIONS: 3065 WINECUP LN

CASE CAPTION: Hold a public hearing to discuss and consider a request by Gene McCorkle of Tuff Shed on behalf of Deborah Julian for the approval of a Specific Use Permit (SUP) for an Accessory Building on a 0.1515-acre parcel of land identified as Lot 11, Block C, Highland Meadows #1 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 3065 Winecup Lane, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Bethany Ross	05/25/2023	Approved w/ Comments

05/25/2023: Z2023-025; Specific Use Permit (SUP) for an Accessory Structure at 3065 Winecup Lane
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request by Gene McCorkle of Tuff Shed on behalf of Deborah Julian for the approval of a Specific Use Permit (SUP) for an Accessory Building on a 0.1515-acre parcel of land identified as Lot 11, Block C, Highland Meadows #1 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 3065 Winecup Lane.

I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email bross@rockwall.com.

M.3 For reference, include the case number (Z2023-025) in the lower right-hand corner of all pages on future submittals.

I.4 The subject property is zoned Single-Family 7 (SF-7) District.

I.5 According to Subsection 07.04, Accessory Structure Development Standards, of Article 05, District Development Standards, of the Unified Development Code (UDC), accessory buildings proposed in a Single-Family 7 (SF-7) District shall adhere to the following requirements:

- (1) Number of Accessory Structures Permitted per Lot: 2
- (2) Maximum SF of Accessory Building: 144 SF
- (3) Minimum Rear Yard Setback: 3 Feet
- (4) Minimum Side Yard Setback: 3 Feet
- (5) Distance Between Buildings: 6 Feet
- (6) Maximum Building Height: 15 Feet

In addition, if there is an existing accessory building greater than 625 SF no additional accessory buildings or structures are permitted.

I.6 In this case there are no existing accessory buildings on the subject property, and the proposed accessory structure is 12' x 16' or 192 SF.

M.7 The accessory structure must be built on an engineered concrete foundation that will support the weight of the proposed accessory building.

M.8 Please review the attached Draft Ordinance prior to the May 30, 2023 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than June 6, 2023.

I.9 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on June 6, 2023; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the June 13, 2023 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on May 30, 2023.

I.10 The projected City Council meeting dates for this case will be June 19,2023 [1st Reading] and July 17, 2023 [2nd Reading].

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	05/25/2023	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	05/22/2023	Approved
05/23/2023: REQUIRED TO HAVE A CONCRETE FOUNDATION			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	05/23/2023	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	05/23/2023	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	05/16/2023	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	05/22/2023	Approved
No Comments			



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22023-025

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1&2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS: 3065 WINECUP LN
 SUBDIVISION: HIGHLAND MEADOWS #1 LOT: 11 BLOCK: C
 GENERAL LOCATION: _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING: _____ CURRENT USE: _____
 PROPOSED ZONING: _____ PROPOSED USE: _____
 ACREAGE: _____ LOTS [CURRENT]: _____ LOTS [PROPOSED]: _____

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	<u>DEBORAH JULIAN</u>	<input type="checkbox"/> APPLICANT	<u>GENE MCCORKIE</u>
CONTACT PERSON	<u>GENE MCCORKIE</u>	CONTACT PERSON	<u>TUFF SHED</u>
ADDRESS	<u>3065 WINECUP LN</u>	ADDRESS	<u>1777 HARRISON</u>
CITY, STATE & ZIP	<u>ROCKWALL TX 75082</u>	CITY, STATE & ZIP	<u>Denver CO 80210</u>
PHONE	<u>469-441-2077</u>	PHONE	<u>972-207-0049</u>
E-MAIL	<u>KITTEN5350@YAHOO.COM</u>	E-MAIL	<u>GMcCorkie@TuffShed.com</u>

NOTARY VERIFICATION [REQUIRED]

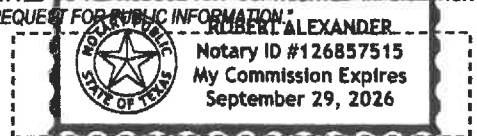
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Deborah Julian [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE AND DISSEMINATE INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

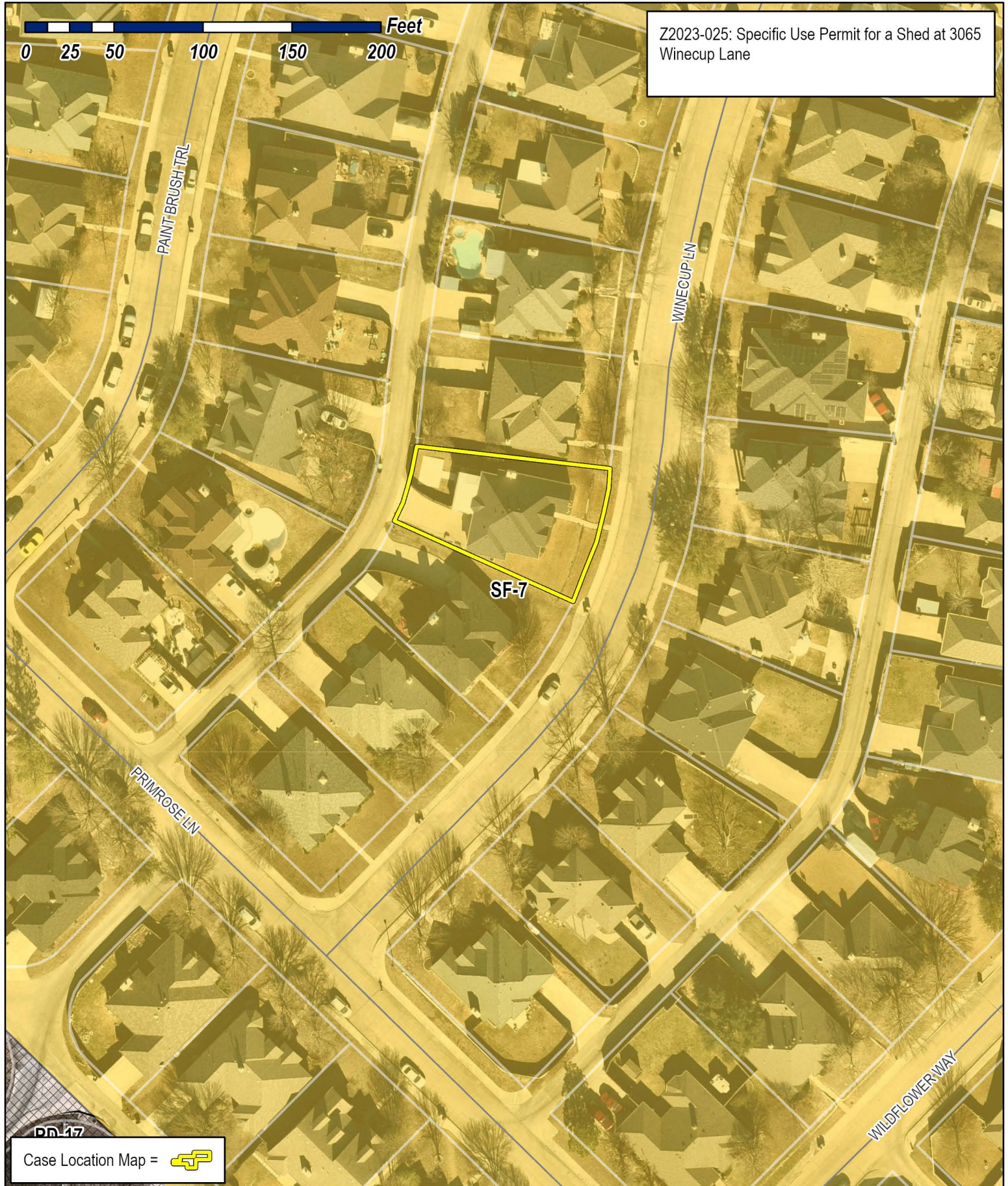
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 3 DAY OF May, 2023

OWNER'S SIGNATURE: Deborah Julian


NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES 9/29/26



Z2023-025: Specific Use Permit for a Shed at 3065 Winecup Lane

Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

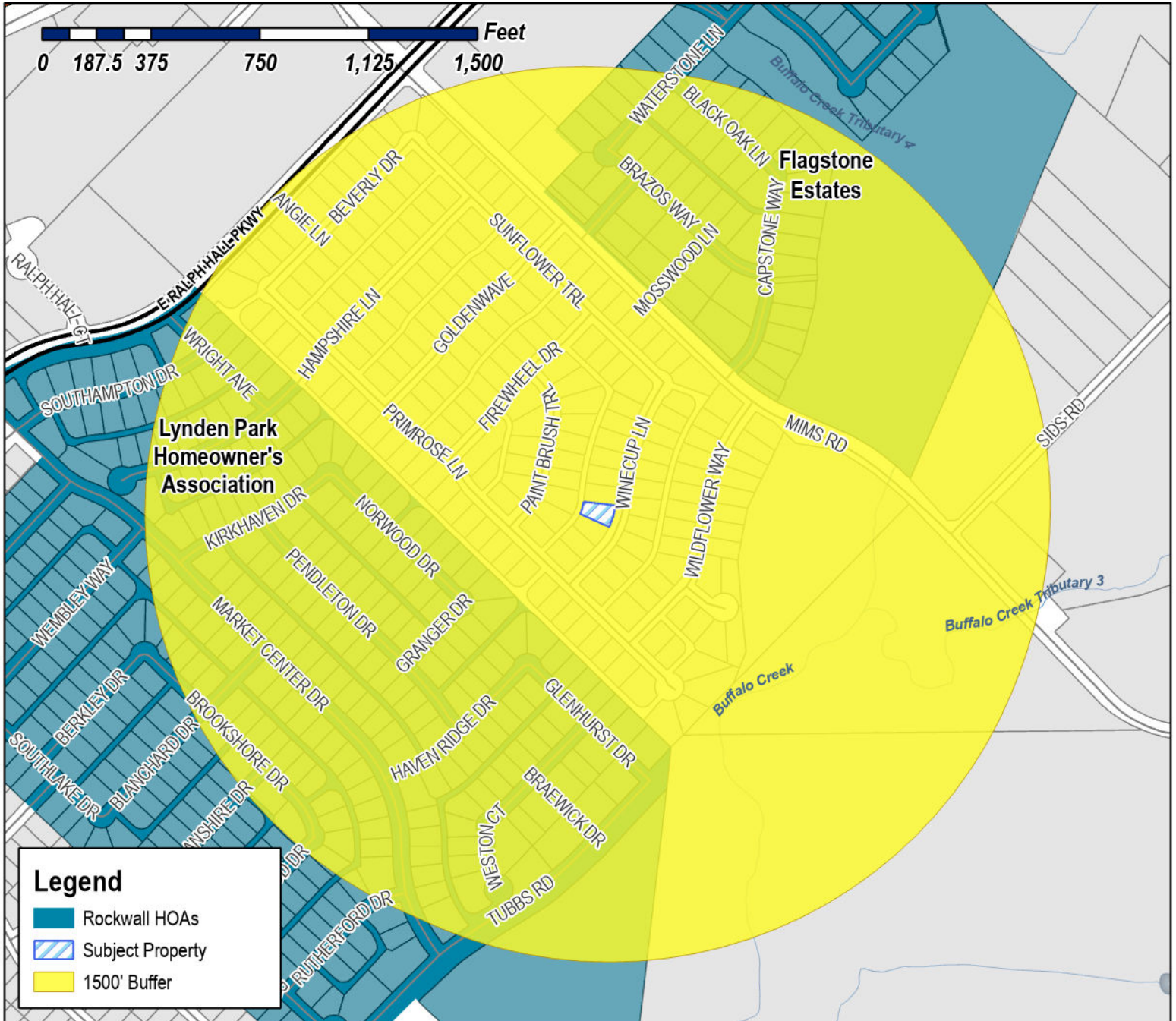




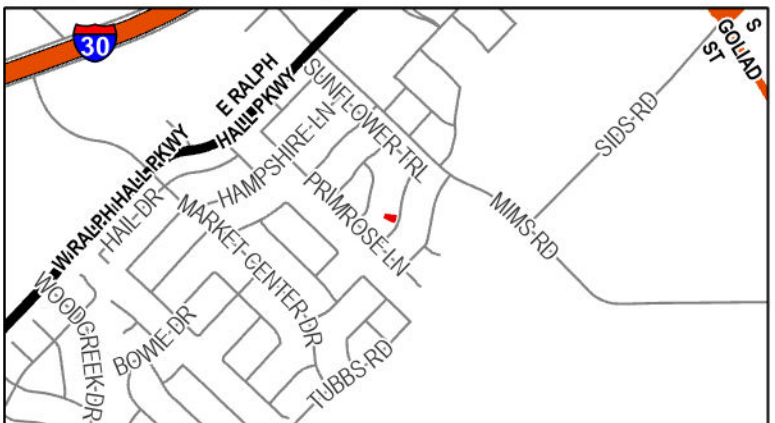
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2023-025
Case Name: SUP for Accessory Building
Case Type: Zoning
Zoning: Single-Family 7 (SF-7) District
Case Address: 3065 Winecup Lane



Date Saved: 5/23/2023

For Questions on this Case Call (972) 771-7745

Ross, Bethany

From: Zavala, Melanie
Sent: Tuesday, May 23, 2023 3:17 PM
Cc: Miller, Ryan; Ross, Bethany; Lee, Henry; Guevara, Angelica
Subject: Neighborhood Notification Program [Z2023-025]
Attachments: Public Notice (05.23.2023).pdf; HOA Map (05.23.2023).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *May 26, 2023*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, June 13, 2023 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, June 19, 2023 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2023-025: SUP for Accessory Building at 3065 Winecup Lane

Hold a public hearing to discuss and consider a request by Gene McCorkle of Tuff Shed on behalf of Deborah Julian for the approval of a *Specific Use Permit (SUP)* for an *Accessory Building* on a 0.1515-acre parcel of land identified as Lot 11, Block C, Highland Meadows #1 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 3065 Winecup Lane, and take any action necessary.

Thank You,

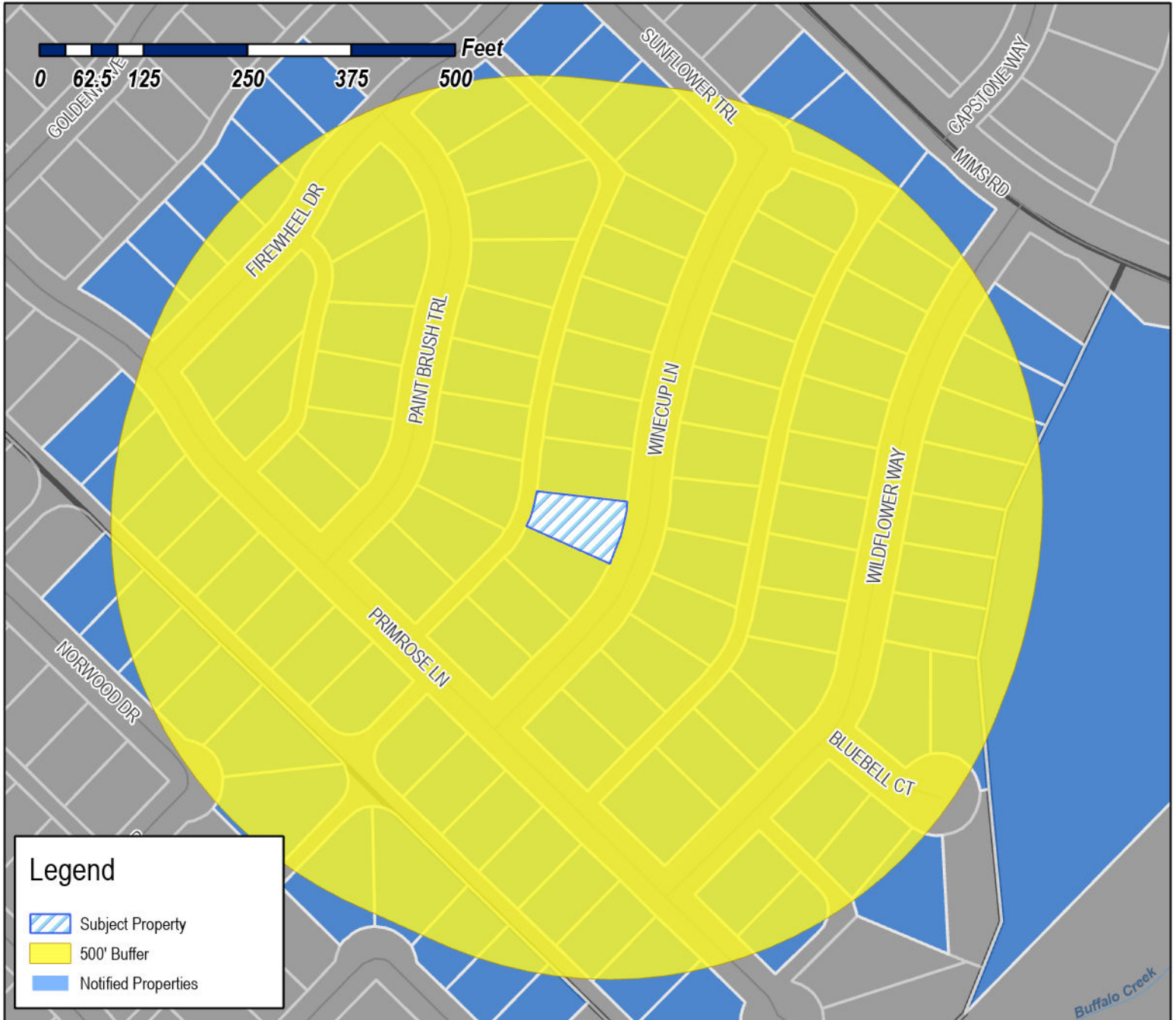
[Melanie Zavala](#)
Planning Coordinator
City of Rockwall Planning & Zoning
385 S. Goliad Street
Rockwall, TX 75087
Office: 972-771-7745
Direct: 972-771-6568



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Legend

- Subject Property
- 500' Buffer
- Notified Properties

Case Number: Z2023-025
Case Name: SUP for Accessory Building
Case Type: Zoning
Zoning: Single-Family 7 (SF-7) District
Case Address: 3065 Winecup Lane



Date Saved: 5/23/2023
 For Questions on this Case Call: (972) 771-7746

COMER SHAPHAN
101 S BROOKSIDE DR APT 2212
ROCKWALL, TX 75214

SFR JV-1 2021-1 BORROWER LLC
C/O. TRICON AMERICAN HOMES LLC
15771 RED HILL AVE
TUSTN, CA 92780

SWANSON LADARRION K SR AND DEDRA M
161 HAVEN RIDGE DR
ROCKWALL, TX 75032

MEHTA DILIP & TRUPTI
162 GRANGER DR
ROCKWALL, TX 75032

ELIZONDO CESAR CAMPOS
1650 JOHN KING BLVD APT 2503
ROCKWALL, TX 75032

PRODAHL DALE & KAREN
1685 PLUMMER DR
ROCKWALL, TX 75087

LING ROBERT H & JOYCE H
17736 LILIANA CT
ROWLAND HEIGHTS, CA 91748

FKH SFR PROPCO B-HLD, LP
C/O FIRST KEY HOMES LLC
1850 PARKWAY PLACE SUITE 900
MARIETTA, GA 30067

TANEV ALEKSANDAR AND MILENA
1920 CENTER AVE
MARTINEZ, CA 94553

MORGENSTERN CHRISTIAN
1957 E. FM 550
ROCKWALL, TX 75032

DO DAVID KIM
2206 OAK GROVE CIR
GARLAND, TX 75040

NEWCOMB RAMON & JOYCE M
2217 MCCLENDON DR
ROCKWALL, TX 75032

RODRIGUEZ JAMES TYLER AND
HOPE SOUL
223 WEST MADISON AVENUE
DUMONT, NJ 7628

GREGORY COREY ALAN
25881 SOUTH 655 RD
GROVE, OK 74344

RESIDENT
2902 PAINT BRUSH TRL
ROCKWALL, TX 75032

RESIDENT
2905 PAINT BRUSH TRL
ROCKWALL, TX 75032

NAVARRO DORIS GRAZIELA
2971 FIREWHEEL DR
ROCKWALL, TX 75032

RESIDENT
2977 FIREWHEEL DR
ROCKWALL, TX 75032

RESIDENT
C/O. TRICON AMERICAN HOMES LLC
2983 FIREWHEEL DR
ROCKWALL, TX 75032

VILLARREAL LUIS J & PATRICIA
2989 FIREWHEEL DR
ROCKWALL, TX 75032

STAEV GHINICA
299 PHEASANT HILL DR
ROCKWALL, TX 75032

SCRYBA JEREMY
2995 FIREWHEEL DR
ROCKWALL, TX 75032

MONTGOMERY STREET HOMES LLC
300 MONTGOMERY ST SUITE 1200
SAN FRANCISCO, CA 94104

DESTEFANO LAURIN
3001 FIREWHEEL DR
ROCKWALL, TX 75032

RESIDENT
3002 PAINT BRUSH TRL
ROCKWALL, TX 75032

RESIDENT
3008 PAINT BRUSH TRL
ROCKWALL, TX 75032

DOMUS SANCTUS PARTNERS LLC
301 WEST AVE #3505
AUSTIN, TX 78701

CASSTEVENS AARON K
3014 PAINT BRUSH TRAIL
ROCKWALL, TX 75032

THOMAS JUSTIN
3015 PAINT BRUSH TR
ROCKWALL, TX 75032

ISSA SONIA N
3018 WINECUP LN
ROCKWALL, TX 75032

MOHIBULLAH FNU AND
BRIANDA SANCHEZ
3020 PAINT BRUSH TRL
ROCKWALL, TX 75032

VENTURA MANUEL A & OLIMPIA
3023 PAINT BRUSH TRL
ROCKWALL, TX 75032

JENNINGS KAREN
3026 PAINT BRUSH TRAIL
ROCKWALL, TX 75032

FLOREX ELIA MARINA
3026 WINECUP LN
ROCKWALL, TX 75032

RESIDENT
3027 WINECUP LN
ROCKWALL, TX 75032

BARNETT ALLEN K & COREY A
3029 PAINT BRUSH TRL
ROCKWALL, TX 75032

RESIDENT
3032 PAINT BRUSH TRL
ROCKWALL, TX 75032

RESIDENT
3032 WINECUP LN
ROCKWALL, TX 75032

C & L REAL ESTATE SERVICES LLC
3033 WINECUP LANE
ROCKWALL, TX 75032

HEINEMAN WILLIAM JEFFREY AND
REBECCA ANN HEINEMAN AND JENNEL
JAQUAYS
3038 PAINT BRUSH TRAIL
ROCKWALL, TX 75032

FIELDEN BILLY J AND CARRIE-ANNE M ZILLIOUX
AND
MARY HONIG
3039 WINECUP LANE
ROCKWALL, TX 75032

JONES VIVIAN C & CHARLES K
3040 WINECUP LANE
ROCKWALL, TX 75032

ROSE CHRISTINA R
3041 PAINT BRUSH TRL
ROCKWALL, TX 75032

MEJIA ELIZABETH M
3044 PAINT BRUSH TRAIL
ROCKWALL, TX 75032

WALKER HAROLD & BOBBIE
3045 WINECUP LN
ROCKWALL, TX 75032

ROSETTA JENNIFER
3046 WINECUP LN
ROCKWALL, TX 75032

RESIDENT
3049 PAINT BRUSH TRL
ROCKWALL, TX 75032

MALDONADO JAIME EDWARD AND LORILEE
3050 PAINT BRUSH TRAIL
ROCKWALL, TX 75087

MINGUZZI DOMINIC
3051 WINECUP LN
ROCKWALL, TX 75032

FELDBOUSEN RODNEY & LORNA
3052 WINECUP LN
ROCKWALL, TX 75032

GOMEZ MACKENZIE GRACE AND
JARED DANIEL FULTON
3055 WILDFLOWER WAY
ROCKWALL, TX 75032

JEFFREY RUSSELL DEAN
3057 WINECUP LN
ROCKWALL, TX 75032

CORTINAS KARINA &
RUBEN MORIN
3058 WINECUP LN
ROCKWALL, TX 75032

RESIDENT
3063 WILDFLOWER WAY
ROCKWALL, TX 75032

RESIDENT
3064 WINECUP LN
ROCKWALL, TX 75032

JULIAN DEBORAH KAY
3065 WINECUP LN
ROCKWALL, TX 75032

VALENTINE DEQUANISHA
3066 WILDFLOWER WAY
ROCKWALL, TX 75032

ATEN COURTNEY
3070 WINECUP LN
ROCKWALL, TX 75032

WHEELER SKY AND ALEXIS
3071 WILDFLOWER WAY
ROCKWALL, TX 75032

CLEMMONS JACKIE L & VANESSA D
3073 WINECUP LN
ROCKWALL, TX 75032

McFARLAND RODERIC B
3074 WILDFLOWER WAY
ROCKWALL, TX 75032

MAH JEFFERY
3076 WINECUP LANE
ROCKWALL, TX 75032

MARSHALL WILLIAM E
3077 WILDFLOWER WAY
ROCKWALL, TX 75032

BARNETT VIRGINIA M
3080 WILDFLOWER WAY
ROCKWALL, TX 75032

RESIDENT
3081 WINECUP LN
ROCKWALL, TX 75032

RESIDENT
3082 WINECUP LN
ROCKWALL, TX 75032

RESIDENT
3083 WILDFLOWER WAY
ROCKWALL, TX 75032

ELLIOTT PAULA C
3086 WILDFLOWER WAY
ROCKWALL, TX 75032

RESIDENT
3087 WINECUP LN
ROCKWALL, TX 75032

HALL MARJORIE
3089 WILDFLOWER WAY
ROCKWALL, TX 75032

FALLS DAVID & TERRI
309 ROOKERY CT
MARCO ISLAND, FL 34145

RICHARDSON ELIZABETH ANN
3090 WINECUP LANE
ROCKWALL, TX 75032

RESIDENT
3092 WILDFLOWER WAY
ROCKWALL, TX 75032

RESIDENT
3095 WILDFLOWER WAY
ROCKWALL, TX 75032

RESIDENT
3098 WILDFLOWER WAY
ROCKWALL, TX 75032

CANETTY CHAYRA SANCHEZ
3101 WILDFLOWER WAY
ROCKWALL, TX 75032

HUSTON RICKY RICHARD
3104 WILDFLOWER WAY
ROCKWALL, TX 75032

520 LAKESIDE LLC
3105 CORNELL AVE
DALLAS, TX 75205

RESIDENT
3107 WILDFLOWER WAY
ROCKWALL, TX 75032

SEVERS TIMOTHY & SHEILA L SETRINA
3115 WILDFLOWER WAY
ROCKWALL, TX 75032

COOPER TERESA L
3123 WILDFLOWER WAY
ROCKWALL, TX 75032

RESIDENT
3129 WILDFLOWER WAY
ROCKWALL, TX 75032

PRICE TIMOTHY F & DIANA M
3137 WILDFLOWER WAY
ROCKWALL, TX 75032

OPENDOOR PROPERTY TRUST I, A DELAWARE
STATUTORY TRUST
410 N SCOTTSDALE RD SUITE 1600
TEMPE, AZ 85281

GRAVES DANIEL W
4229 BLUFFVIEW BLVD
DALLAS, TX 75209

CARPENTIER GREGORY D
4309 DRIFTWOOD DR
PLANO, TX 75074

RAMOS JOSE ALEJANDRO AND
NANCY H CASTILLO ALVARENGA
601 PRIMROSE LN
ROCKWALL, TX 75032

RESIDENT
604 NORWOOD DR
ROCKWALL, TX 75032

KELLEY KYLE E AND AMY E
606 PRIMROSE LANE
ROCKWALL, TX 75032

UPCHURCH JASON AND JESSICA
607 PRIMROSE LN
ROCKWALL, TX 75032

RENDON NOEL & CHRISTIE
607 W BROAD ST
MANSFIELD, TX 76063

RESIDENT
C/O FIRST KEY HOMES LLC
608 NORWOOD DR
ROCKWALL, TX 75032

RESIDENT
HOPE SOUL
612 NORWOOD DR
ROCKWALL, TX 75032

GORDON ANTHONY W
612 PRIMROSE LN
ROCKWALL, TX 75032

DAVIS MARLON J
613 PRIMROSE LN
ROCKWALL, TX 75032

OWUSU CLEMENT A & VERONICA D
616 NORWOOD DR
ROCKWALL, TX 75032

LAY SYLVIA J
619 PRIMROSE LN
ROCKWALL, TX 75032

HEUMAN TERRY AND DIANA
620 NORWOOD DRIVE
ROCKWALL, TX 75032

RESIDENT
A SERIES OF RDMS PROPERTIES
625 PRIMROSE LN
ROCKWALL, TX 75032

GONZALEZ RENE MURILL AND MARIA ISABEL
631 PRIMROSE LANE
ROCKWALL, TX 75032

RESIDENT
A SERIES OF RDMS PROPERTIES
637 PRIMROSE LN
ROCKWALL, TX 75032

MUNOZ FELIPE V & CONSUELO C
643 PRIMROSE LN
ROCKWALL, TX 75032

MARTINEZ ELSBETH IONE
653 PRIMROSE LANE
ROCKWALL, TX 75032

CARLIER JEFFREY ALLEN
661 PRIMROSE LN
ROCKWALL, TX 75032

BLANKENSHIP MICHAEL E & BERTHA G
702 GLENHURST DR
ROCKWALL, TX 75032

RESIDENT
703 PRIMROSE LN
ROCKWALL, TX 75032

RESIDENT
708 GLENHURST DR
ROCKWALL, TX 75032

GEORGE POLLY A & BENJAMIN E
709 BLUEBELL CT
ROCKWALL, TX 75032

LEBLANC BRIAN AND AARON SALAZAR
709 PRIMROSE LN
ROCKWALL, TX 75087

TURNER LAQUITTA L
710 BLUEBELL CT
ROCKWALL, TX 75032

RESIDENT
714 GLENHURST DR
ROCKWALL, TX 75032

RIDDLE LINDA K
715 BLUEBELL CT
ROCKWALL, TX 75032

RODRIGUEZ ANDRES M
715 PRIMROSE LN
ROCKWALL, TX 75032

RESIDENT
718 BLUEBELL CT
ROCKWALL, TX 75032

RESIDENT
720 GLENHURST DR
ROCKWALL, TX 75032

JONES JAMES & MARY
721 BLUEBELL CT
ROCKWALL, TX 75032

HARRIS CHAD &
MISTY PIERCE
721 PRIMROSE LN
ROCKWALL, TX 75032

RESIDENT
727 PRIMROSE LN
ROCKWALL, TX 75032

BRIDGMAN SHAWN AND RENEE
728 PRIMROSE LN
ROCKWALL, TX 75032

GULICK ANNA C
734 PRIMROSE LN
ROCKWALL, TX 75032

TIPPING DORA MARIA
735 PRIMROSE LN
ROCKWALL, TX 75032

WHITE CODY
7828 OLD HICKORY DR
N RICHLAND HILLS, TX 76182

ROBINSON DAVID J
819 SUNFLOWER TR
ROCKWALL, TX 75032

CHEN CHAI
825 HARLAN CT
MURPHY, TX 75094

PEREZ ALBERTO M
827 SUNFLOWER TRL
ROCKWALL, TX 75032

GONZALES RUBEN M JR & SUSAN
833 SUNFLOWER TRL
ROCKWALL, TX 75032

RESIDENT
841 SUNFLOWER TRL
ROCKWALL, TX 75032

VAUGHN TAYLOR LEIGHANN
842 SUNFLOWER TRAIL
ROCKWALL, TX 75032

HANG NHIA JING & FONG
850 SUNFLOWER TRAIL
ROCKWALL, TX 75032

AMH 2014-3 BORROWER LLC
ATTN: PROPERTY TAX DEPARTMENT 23975
PARK SORRENTO SUITE 300
CALABASAS, CA 91302

ARP 2014-1 BORROWER LLC
ATTN: PROPERTY TAX DEPARTMENT 23975
PARK SORRENTO , SUITE 300
CALABASAS, CA 91302

WELBORN W L
P.O. BOX 968
MABANK, TX 75147

HUGHES SUZANN G
PO BOX 1347
ROCKWALL, TX 75087

RDMS PROPERTIES LLC- SERIES K (RS)
A SERIES OF RDMS PROPERTIES
PO BOX 1569
ROCKWALL, TX 75087

RDMS PROPERTIES LLC-SERIES J (RS)
A SERIES OF RDMS PROPERTIES
PO BOX 1659
ROCKWALL, TX 75087

PROGRESS RESIDENTIAL BORROWER 19 LLC
PO BOX 4090
SCOTTSDALE, AZ 85261

RESZI DFW ACQ I LLC
PO BOX 4980
LAGUNA BEACH, CA 92652

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2023-025: SUP for Accessory Building

Hold a public hearing to discuss and consider a request by Gene McCorkle of Tuff Shed on behalf of Deborah Julian for the approval of a Specific Use Permit (SUP) for an Accessory Building on a 0.1515-acre parcel of land identified as Lot 11, Block C, Highland Meadows #1 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 3065 Winecup Lane, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, June 13, 2023 at 6:00 PM, and the City Council will hold a public hearing on Monday, June 19, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Bethany Ross
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, June 19, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2023-025: SUP for Accessory Building

Please place a check mark on the appropriate line below:

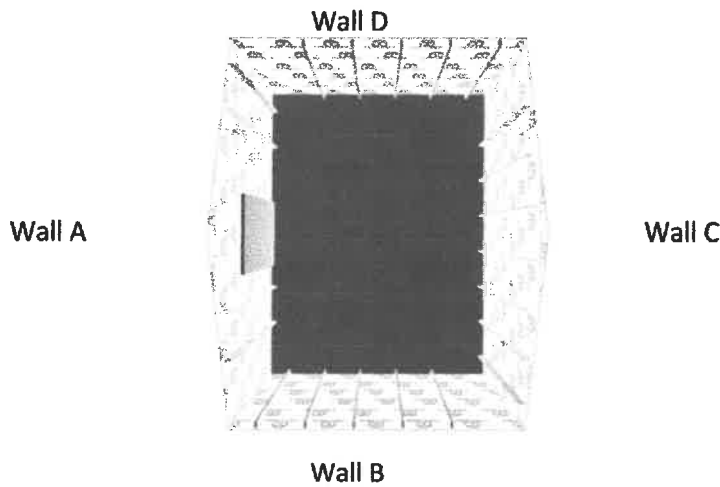
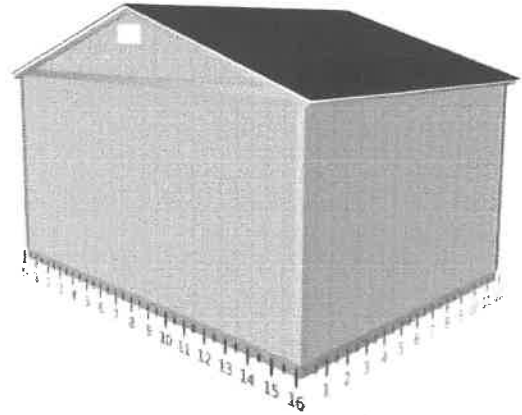
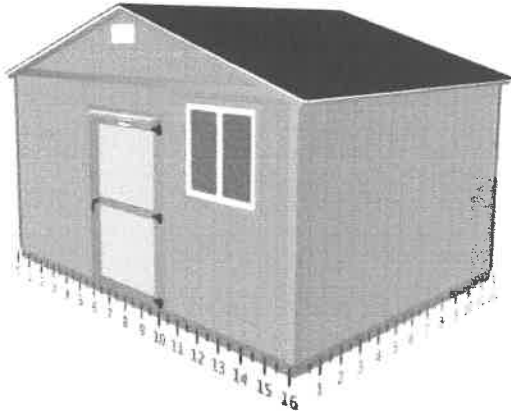
- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



Base Details

Building Size & Style
 TR-800 - 16' wide by 12' long

Door
 4' x 6'7" Single Shed Door, Right Hinge Placement, Decorative Door Hardware, Drip Cap

Paint Selection
 Base: No Paint, Trim: No Paint

Roof Selection
 Charcoal Dimensional Premium Shingle

Drip Edge
 White

Is a permit required for this job?
 Yes

Who is pulling the permit?
 Tuff Shed

Options Details

Windows
 3'x3' Insulated Horizontal Sliding Window

Walls
 473 Sq Ft House Wrap

Roof
 215 Sq Ft Radiant Barrier Roof Decking

Floor and Foundation
 192 Sq Ft 3/4" Treated Floor Decking Upgrade
 8 Ea Shed Anchor to Concrete - A24 & Wedge Anchor

Vents
 2 Ea 16"x8" Wall Vent - White

Jobsite/Installer Details

Do you plan to insulate this building after Tuff Shed installs it?
 Yes

Is there a power outlet within 100 feet of installation location?
 Yes

The building location must be level to properly install the building. How level is the install location?
 Within 4" of level

Will there be 18" of unobstructed workspace around the perimeter of all four walls?
 Yes

Can the installers park their pickup truck & trailer within approximately 200' of your installation site?
 Yes

Substrate Shed will be installed on?
 Anchored to Concrete with Shed Floor

Signature: _____ Date: _____



WxLxH*	Base	w/Paint	Monthly* Finance
10'x12'x10'3"	\$3,049	\$3,379	\$48
10'x16'x10'3"	\$3,699	\$4,029	\$58
10'x20'x10'3"	\$4,310	\$4,640	\$68
12'x12'x10'7"	\$3,559	\$3,989	\$56
12'x16'x10'7"	\$4,299	\$4,729	\$67
12'x20'x10'7"	\$4,999	\$5,429	\$78
12'x24'x10'7"	\$5,739	\$6,169	\$90
16'x20'x11'3"	\$6,529	\$7,109	\$102
16'x24'x11'3"	\$7,449	\$8,029	\$117

16x12x
11'3"
SHED

Sundance Series TR-800

8' sidewall height allows more overhead room and taller 4x6'7" door, placed on any wall. Upgrades shown: double door, door trim, in-door transoms, 3'x3' windows, shutters, dimensional shingles, 6/12 roof pitch, endwall eaves, and paint. Can accommodate sidewall porch upgrade.

- 6" Tall Galvanized Steel Foundation
- 4'x6'7" Steel Reinforced Tuff Shed Door
- Endwall or Sidewall Door Placement
- 7'8" Clear Interior Sidewall Height
- 16" On Center 2x4 Wall Framing
- 6" Block Sidewall Eave



Concrete Foundation Suggested

Sundance Series TB-800

Maximize your storage space with another foot of sidewall height and more overhead room. The 8'3" sidewalls allow for 4'x6'7" door placed on any wall. Shown above with double door, 3'x2' window, vent, dimensional shingle and paint upgrades. This model can also accommodate porch and 2nd Floor upgrades (see info. at right).

Single Floor

- 4'x6'7" Steel Reinforced Tuff Shed Door
- Endwall or Sidewall Door Placement
- 7'8" Clear Interior Sidewall Height
- 16" On Center 2x4 Wall Framing
- 3" Flat Sidewall Eave (Single Floor)

2nd Floor Upgrade With Stairs

- 6" Boxed Eaves
- 2x6 Treated Wood Foundation

WxLxH*	Base	w/Paint	Monthly* Finance
12'x12'x14'6"	\$4,625	\$5,075	\$73
12'x16'x14'6"	\$5,099	\$5,549	\$90
12'x20'x14'6"	\$5,919	\$6,369	\$93
12'x24'x14'6"	\$6,739	\$7,189	\$106
16'x20'x16'6"	\$8,868	\$9,508	\$139
16'x24'x16'6"	\$10,199	\$10,839	\$150

WxLxH*	Base	w/Paint	Monthly* Finance
16'x16'x18'3"	\$12,364	\$13,004	\$193
16'x20'x18'3"	\$14,286	\$14,926	\$223
16'x24'x18'3"	\$16,277	\$16,917	\$254
16'x28'x18'3"	\$17,919	\$18,559	\$280
16'x32'x18'3"	\$19,725	\$20,365	\$308
18'x20'x18'3"	\$17,174	\$18,073	\$268
18'x24'x18'3"	\$19,475	\$20,374	\$304
18'x28'x18'3"	\$21,835	\$22,734	\$341
18'x32'x18'3"	\$24,095	\$24,994	\$378
18'x36'x18'3"	\$26,401	\$27,300	\$412

SITTING ON OUR FLOOR
ON TOP OF AN EXISTING
SLAB - ANCHORED INTO
CONCRETE

SURVEY PLAT

BARRY S. RHODES Registered Professional Land Surveyor (072) 475-8940

This is to certify that I have, this date, made a careful and accurate survey on the ground of property located at No. **3085 WINECUP LANE** in the city of **ROCKWALL**, Texas.

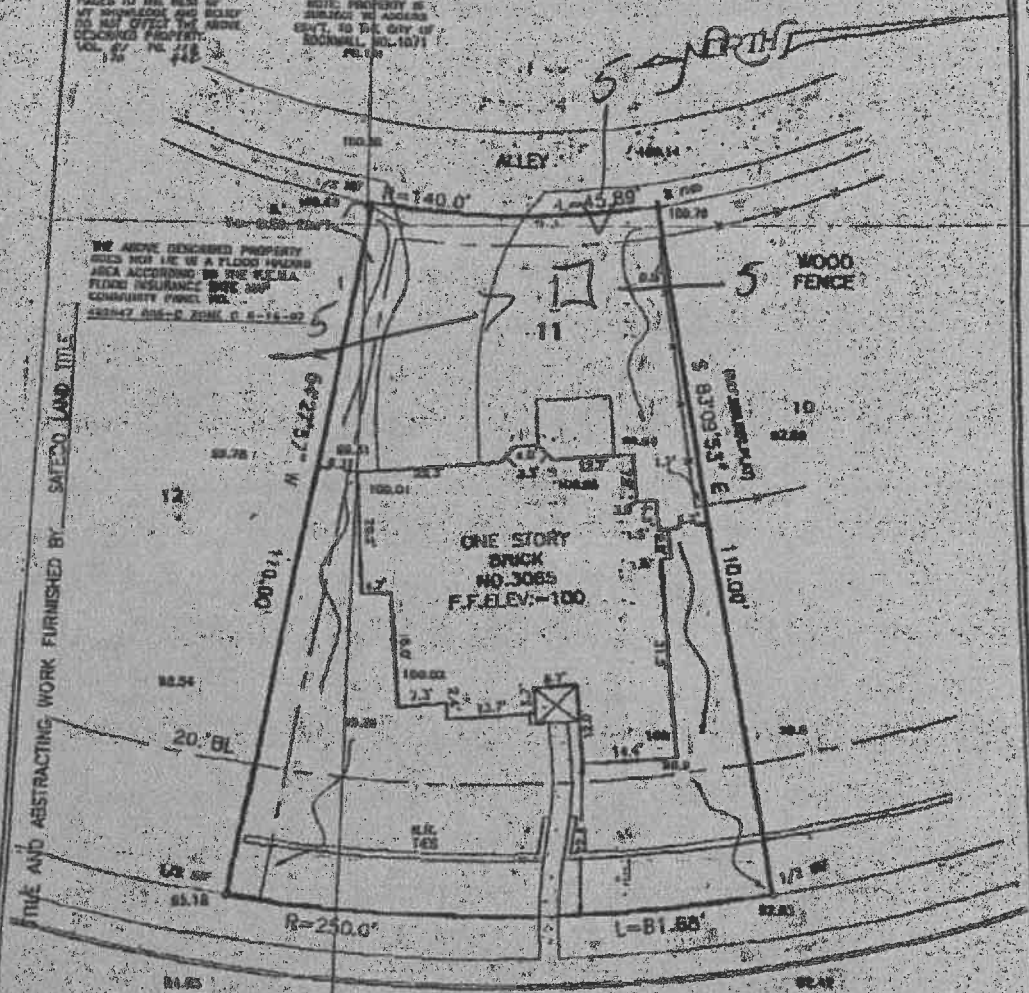
Lot No. **11** Block No. **C** City Block No. **11**

of **HIGHLAND MEADOWS NO. 1** on addition to the City of **ROCKWALL**, **ROCKWALL COUNTY**, Texas according to the **PLAT** recorded in **CABINET C** at **SLICE 291-302** of the **PLAT** records of **ROCKWALL COUNTY, TEXAS**.

WHEN TAKEN IN CONNECTION WITH THE CERTIFICATE OF CORRECTION BY **HAROLD EVANS**, **ROCKWALL COUNTY, TEXAS**.

CASEMENTS RECORDED IN THE FOLLOWING VOLUMES & PAGES TO THE BEST OF MY KNOWLEDGE AND BELIEF DO NOT AFFECT THE ABOVE DESCRIBED PROPERTY:
VOL. 87, PG. 278
170
445

NOTE: PROPERTY IS SUBJECT TO ADDRESS 5071, TO THE CITY OF ROCKWALL, TEXAS 75087.



TITLE AND ABSTRACTING WORK FURNISHED BY: SAFECO LAND TITLE

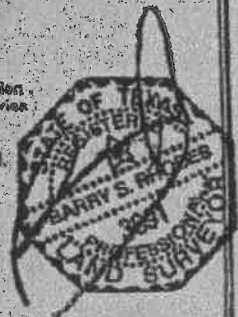
WINECUP LANE

The plat herein is true, correct, and accurate representation of the property as determined by survey, the lines and dimensions of said property being as indicated by the plat, the site, location, and type of building and improvements are as shown, all improvements being within the boundaries of the property, set back from property lines the distance indicated.

THERE ARE NO ENCROACHMENTS, CONFLICTS, OR PROTRUSIONS, EXCEPT AS SHOWN.

Scale: 1" = 20'
 Date: 12-7-99
 O. F. No.: 15390
 Job no.: 64787
 Drawn by: R.G.

THIS SURVEY WAS PERFORMED EXCLUSIVELY FOR SAFECO LAND TITLE
 USE OF THIS SURVEY FOR ANY OTHER PURPOSE OR OTHER PARTIES SHALL BE AT THEIR RISK AND UNDISCOUNTED IS NOT RESPONSIBLE TO OWNERS FOR ANY LOSS RESULTING THEREFROM.



[Handwritten signature]

CITY OF ROCKWALL

ORDINANCE NO. 23-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR AN *ACCESSORY STRUCTURE* ON A 0.1515-ACRE PARCEL OF LAND IDENTIFIED AS LOT 11, BLOCK C, HIGHLAND MEADOWS #1 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Gene McCorkle of Tuff Shed on behalf of Deborah Julian for the approval of a *Specific Use Permit (SUP)* for an *Accessory Building* on a 0.1515-acre parcel of land, addressed as 3065 Winecup Lane, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) to allow for the construction of an *Accessory Structure* in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.09, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] -- *as heretofore amended and may be amended in the future* -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of an *Accessory Structure* on the *Subject Property* and conformance to these operational conditions are required:

- (1) The development of the *Subject Property* shall generally conform to the *Site Plan* as depicted in *Exhibit 'B'* of this ordinance.
- (2) The construction of an *Accessory Structure* on the *Subject Property* shall generally conform to the *Building Elevations and Accessory Structure Details* depicted in *Exhibit 'C'* of this ordinance.
- (3) The *Accessory Structure* shall be built on an engineered concrete foundation that will support the weight of the proposed structure.
- (4) The *Accessory Structure* shall not exceed a maximum building footprint or size of 200 SF.
- (5) The maximum height of the *Accessory Structure* shall not exceed a maximum of 15-feet as measured from the mid-point of the pitched roof.
- (6) The *Accessory Structure* shall not be sold or conveyed separately from the single-family home without meeting the requirements of the zoning district and subdivision ordinance.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the

ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 17th DAY OF JULY, 2023.**

Trace Johannesen, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: June 19, 2023

2nd Reading: July 17, 2023

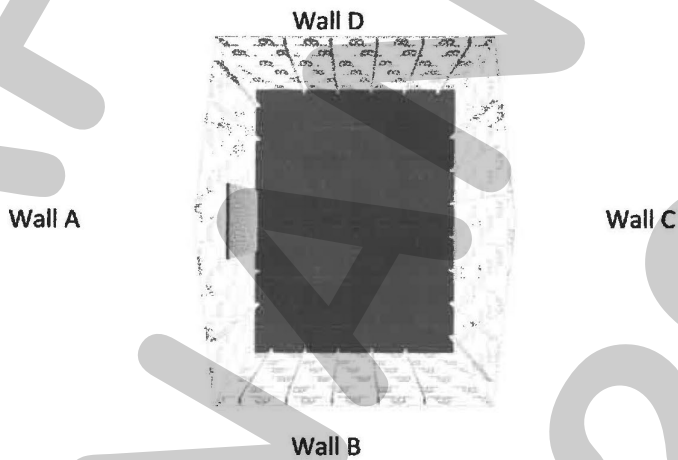
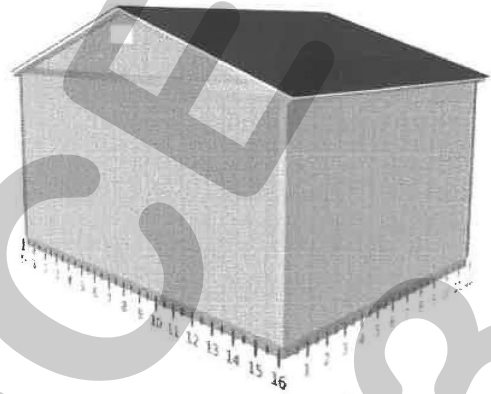
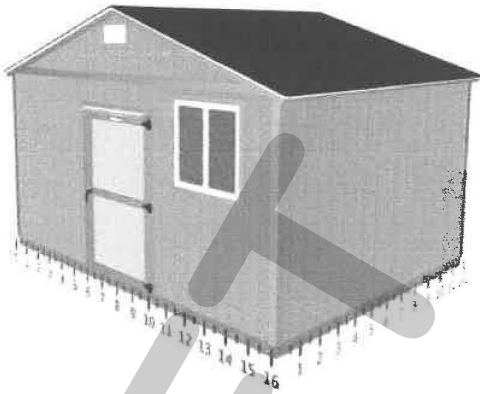
Exhibit 'A'
Location Map and Legal Description

Address: 3065 Winecup Lane

Legal Description: Lot 11, Block C, Highland Meadows #1 Addition



Exhibit 'C':
Building Elevations & Accessory Structure Details



Base Details

Building Size & Style
TR-800 - 16' wide by 12' long

Door
4' x 6'7" Single Shed Door, Right Hinge Placement, Decorative Door Hardware, Drip Cap

Paint Selection
Base: No Paint, Trim: No Paint

Roof Selection
Charcoal Dimensional Premium Shingle

Drip Edge
White

Is a permit required for this job?
Yes

Who is pulling the permit?
Tuff Shed

Options Details

Windows
3'x3' Insulated Horizontal Sliding Window

Walls
473 Sq Ft House Wrap

Roof
215 Sq Ft Radiant Barrier Roof Decking

Floor and Foundation
192 Sq Ft 3/4" Treated Floor Decking Upgrade
8 Ea Shed Anchor to Concrete - A24 & Wedge Anchor

Vents
2 Ea 16"x8" Wall Vent - White

Jobsite/Installer Details

Do you plan to insulate this building after Tuff Shed installs it?
Yes

Is there a power outlet within 100 feet of installation location?
Yes

The building location must be level to properly install the building. How level is the install location?
Within 4" of level

Will there be 18" of unobstructed workspace around the perimeter of all four walls?
Yes

Can the installers park their pickup truck & trailer within approximately 200' of your installation site?
Yes

Substrate Shed will be installed on?
Anchored to Concrete with Shed Floor

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 5/25/2023

PROJECT NUMBER: Z2023-026
PROJECT NAME: Zoning Change from AG to SF-16
SITE ADDRESS/LOCATIONS: 2065 AIRPORT RD

CASE CAPTION: Hold a public hearing to discuss and consider a request by Gerzim Daniel for the approval of a Zoning Change from an Agricultural (AG) District to a Single-Family 16 (SF-10) District for a 0.93-acre tract of land identified as Tract 17 of the E. M. Elliott Survey, Abstract No. 77, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 2065 Airport Road, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Angelica Guevara	05/25/2023	Approved w/ Comments

05/25/2023: Z2023-026; Zoning Change from AG to SF-16 at 2065 Airport Road
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This request is for the approval of a Zoning Change from an Agricultural (AG) District to a Single-Family 16 (SF-10) District for a 0.93-acre tract of land identified as Tract 17 of the E. M. Elliott Survey, Abstract No. 77, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 2065 Airport Road.
- I.2 For questions or comments concerning this case please contact Angelica Guevara in the Planning Department at (972) 772-6438 or email aguevara@rockwall.com.
- M.3 For reference, include the case number (Z2023-026) in the lower right-hand corner of all pages on future submittals.
- I.4 According to the OURHometown Vision 2040 Comprehensive Plan, the subject property is located within the Central District and is scheduled for Low Density Residential (LDR) land uses. The proposed change in zoning -- from Agricultural (AG) District to a Single-Family 16 (SF-16) District -- is consistent with the OURHometown Vision 2040 Comprehensive Plan.
- I.5 Please note that regardless of the submitted request -- if this zoning case is approved -- any development on the subject property will be required to adhere to all applicable requirements of the Unified Development Code (UDC) for a property that is zoned Single-Family 16 (SF-16) District.
- M.6 Please review the attached Draft Ordinance prior to the May 30, 2023 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than June 7, 2023.
- I.7 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on June 7, 2023; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the June 13, 2023 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on May 30, 2023.
- I.8 The projected City Council meeting dates for this case will be June 19, 2023 (1st Reading) and July 17, 2023 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	05/25/2023	Approved w/ Comments

05/25/2023: - Informational - Sewer is under the paving. If a new connection is needed, full panel concrete replacement is required.
- New paving will need to be concrete.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	05/22/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	05/23/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	05/23/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	05/16/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	05/22/2023	Approved

No Comments



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 2065 AIRPORT ROAD, ROCKWALL, TX 75087

SUBDIVISION A0077 EM ELLOTT LOT TRACT 17 BLOCK

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING AG CURRENT USE
 PROPOSED ZONING SF 16 PROPOSED USE SINGLE FAMILY HOME
 ACREAGE .93 LOTS [CURRENT] LOTS [PROPOSED]

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> OWNER	GERZIM DANIEL	<input checked="" type="checkbox"/> APPLICANT	GERZIM DANIEL
CONTACT PERSON	GERZIM DANIEL	CONTACT PERSON	GERZIM DANIEL
ADDRESS	2067 AIRPORT ROAD	ADDRESS	2067 AIRPORT ROAD
CITY, STATE & ZIP	ROCKWALL, TX 75087	CITY, STATE & ZIP	ROCKWALL, TX 75087
PHONE	214-243-9668	PHONE	214-243-9668
E-MAIL	gerzim@hotmail.com	E-MAIL	gerzim@hotmail.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED GERZIM DANIEL [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

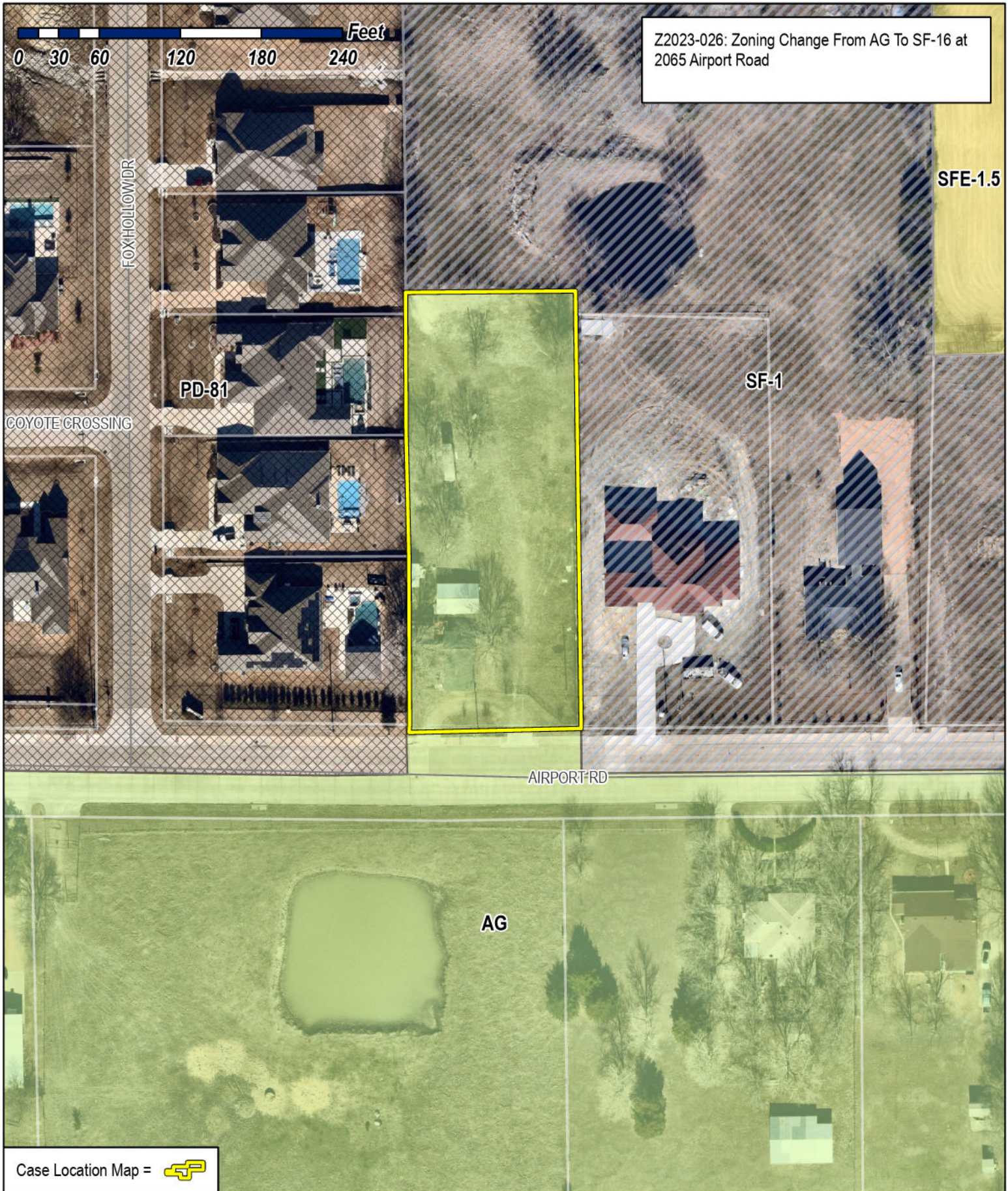
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16 DAY OF May, 2023.

OWNER'S SIGNATURE Gerzim Daniel

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Alf





Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

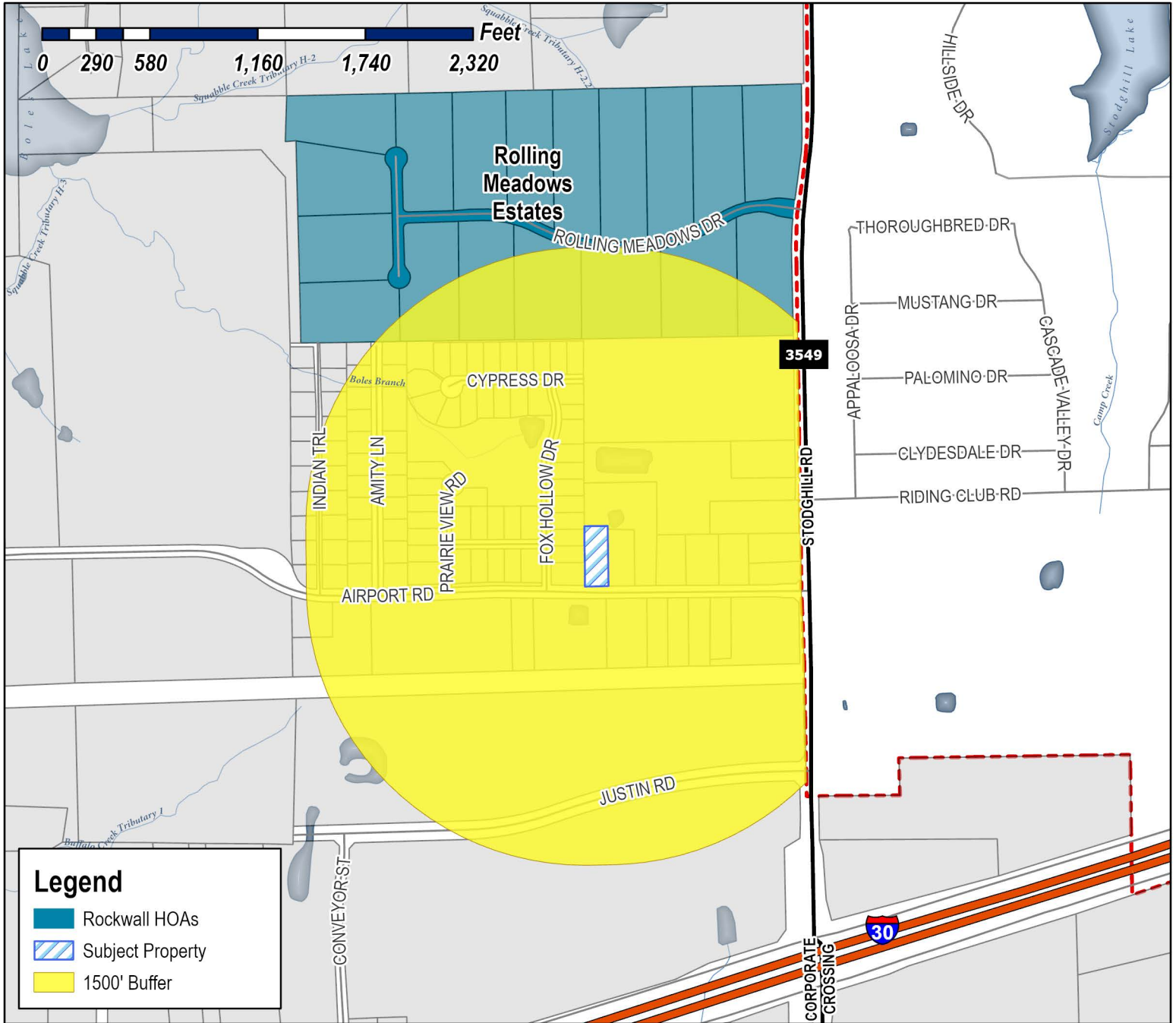




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2023-026
Case Name: Zoning Change from AG to SF-16
Case Type: Zoning
Zoning: Agricultural (AG) District
Case Address: 2065 Airport Road

Date Saved: 5/23/2023
 For Questions on this Case Call (972) 771-7745



Guevara, Angelica

From: Zavala, Melanie
Sent: Tuesday, May 23, 2023 3:21 PM
Cc: Miller, Ryan; Ross, Bethany; Lee, Henry; Guevara, Angelica
Subject: Neighborhood Notification Program [Z2023-026]
Attachments: Public Notice (05.23.2023).pdf; HOA Map (05.23.2023).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on May 26, 2023. The Planning and Zoning Commission will hold a public hearing on Tuesday, June 13, 2023 at 6:00 PM, and the City Council will hold a public hearing on Monday, June 19, 2023 at 6:00 PM. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2023-026: Zoning change From AG to SF-16

Hold a public hearing to discuss and consider a request by Gerzim Daniel for the approval of a *Zoning Change* from an Agricultural (AG) District to a Single-Family 16 (SF-10) District for a 0.93-acre tract of land identified as Tract 17 of the E. M. Elliott Survey, Abstract No. 77, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 2065 Airport Road, and take any action necessary.

Thank You,
Melanie Zavala
Planning Coordinator
City of Rockwall Planning & Zoning
385 S. Goliad Street
Rockwall, TX 75087
Office: 972-771-7745
Direct: 972-771-6568



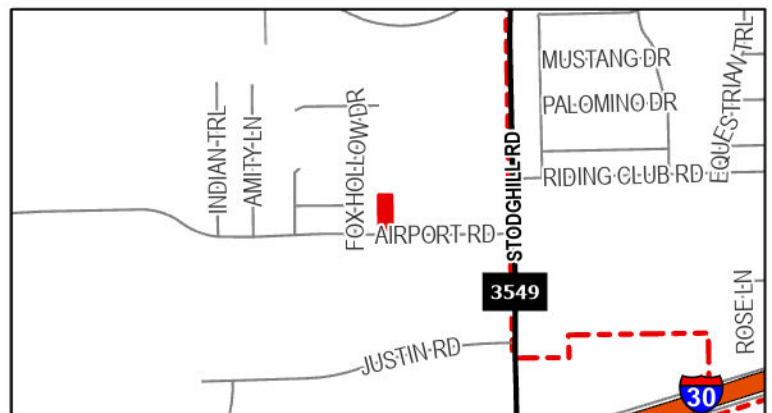
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2023-026
Case Name: Zoning Change from AG to SF-16
Case Type: Zoning
Zoning: Agricultural (AG) District
Case Address: 2065 Airport Road



Date Saved: 5/17/2023

For Questions on this Case Call: (972) 771-7746

RIDGECREST HOMEOWNERS ASSOCIATION INC
1024 S GREENVILLE AVE #230
ALLEN, TX 75002

SPRINGER JOHN STANLEY
2000 AIRPORT RD
ROCKWALL, TX 75087

SPRINGER OUIDA R MRS
2000 AIRPORT RD
ROCKWALL, TX 75087

RESIDENT
ROBERT M (MIKE) DOUGLAS
2065 AIRPORT RD
ROCKWALL, TX 75087

SCHUELER BARBARA JEAN AND
MARK SCHUELER
2070 AIRPORT RD
ROCKWALL, TX 75087

EPTON JEREMY L
2075 AIRPORT RD
ROCKWALL, TX 75087

STANDLEY VEANETA TRUSTEE
OF THE VEANETA B STANDLEY FAMILY TR
2080 AIRPORT RD
ROCKWALL, TX 75087

RESIDENT
2140 AIRPORT RD
ROCKWALL, TX 75087

RESIDENT
2150 AIRPORT RD
ROCKWALL, TX 75087

RESIDENT
2155 AIRPORT RD
ROCKWALL, TX 75087

SHIM SUSAN AND HENRY
2611 COYOTE CROSSING
ROCKWALL, TX 75087

BOYD BILL A & MONICA L MOORE
2612 COYOTE CROSSING
ROCKWALL, TX 75087

DODD TIMMY LAVELL AND JAMIE CHRISTINE
2615 COYOTE CROSSING
ROCKWALL, TX 75087

GHORMLEY TIM W & LINDA C
2616 COYOTE CROSSING
ROCKWALL, TX 75087

DE MEYER GUILAUME & JIRAPORN HEEPKAEW
2619 COYOTE CROSSING
ROCKWALL, TX 75087

GARCIA CESAR G & SANDRA CORNEJO
JUAN M CORNEJO SR & AIDA
2620 COYOTE CROSSING
ROCKWALL, TX 75087

JOHNSON THOMAS L AND PEGGY M
307 FOX HOLLOW DR
ROCKWALL, TX 75087

SPARLING KIRK D AND DARLA
311 FOX HOLLOW DR
ROCKWALL, TX 75087

RESIDENT
312 FOX HOLLOW DR
ROCKWALL, TX 75087

PLUNK TIMOTHY D AND CHRISTY A
315 FOX HOLLOW DRIVE
ROCKWALL, TX 75087

LAPEYROLERIE ANDRE J & PAMELA A
319 FOX HOLLOW DR.
ROCKWALL, TX 75087

HEIDMAN ANGELA DAWN AND JOHN SCOTT
323 FOX HOLLOW DR
ROCKWALL, TX 75087

SHARKEY LOGAN & LACEY
327 FOX HOLLOW DRIVE
ROCKWALL, TX 75087

LAMB JESSICA LAUREN AND
SUZANNE KATHLEEN ROBINSON
331 FOX HOLLOW DR
ROCKWALL, TX 75087

FARROW JAMEY LAMONT AND MARJORIE
MURAT
401 FOX HOLLOW DRIVE
ROCKWALL, TX 75087

HESTER WILLARD JR AND CHRISTY L
405 FOX HOLLOW DR
ROCKWALL, TX 75087

RESIDENT
556 FM3549 STODGHILL RD
ROCKWALL, TX 75087

LAKESIDE CHURCH OF CHRIST OF RW
C/O EASTRIDGE CHURCH OF CHRIST
670 STODGHILL RD
ROCKWALL, TX 75087

LARSON JUDY K
P.O. BOX 133
FATE, TX 75132

WATKINS THOMAS FRANK AND MARY ELLEN
P.O. BOX 336
FATE, TX 75132

WHD FAMILY TRUST
ROBERT M (MIKE) DOUGLAS
PO BOX 180
ST LOUIS, OK 74866

GRIFFIN PATTY JEAN CORNELIUS
PO BOX 511
FATE, TX 75132

GRIFFIN PATTY C & J T
PO BOX 511
FATE, TX 75132

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2023-026: Zoning change from AG to SF-16

Hold a public hearing to discuss and consider a request by Gerzim Daniel for the approval of a Zoning Change from an Agricultural (AG) District to a Single-Family 16 (SF-10) District for a 0.93-acre tract of land identified as Tract 17 of the E. M. Elliott Survey, Abstract No. 77, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 2065 Airport Road, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, June 13, 2023 at 6:00 PM, and the City Council will hold a public hearing on Monday, June 19, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Angelica Guevara
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, June 19, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2023-026: Zoning Change from AG to SF-16

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

[Empty text input area for reasons]

Name: [Text input]
Address: [Text input]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Gerzim Daniel
2067 Airport Road
Rockwall, TX 75087

May 16, 2023

To the planning and zoning
City of Rockwall

Ref: Zoning change request letter

I Gerzim Daniel, the property owner of 2065 Airport Rd. Rockwall, TX 75087, am requesting the zoning change for this property from AG to SF16. When I bought this property last September, there was a house on the lot, which I demolished (please see the attached demolishing permit).

I, with this letter, am asking the city of Rockwall to change the zoning, so that I can put a single-family home in the future.



Thanks,
Gerzim Daniel



9.033 ACRES

1/2 IRS
1.0'

S 88° 34' 38" E 125.00'

POND

1/2 IRS

0/H ELEC LINE

1.00 ACRE

DELORIS E. AND BOBBY H. DOUGLAS
TO
WILL H. DOUGLAS
V. 1525. P. 60

LOT 2

LOT 1

ROCKWALL LAKESIDE CHURCH
OF CHRIST ADDITION
CAB. F. SLIDE 72

5.2 ACRES
FRANK J. AND LOIS MARIE HOLT
TO
J.E. AND DELORIS ESTELL PARKER
V. 68. P. 291

N 1° 09' 28" E 348.00'

S 1° 09' 28" W 348.00'

2.9'

30.0
20.0
BLD

72.5'

2.4'

WOOD DECK
20.3
37.5
4.0
4.0
16.3

76.2'

RESIDENCE
2065 AIRPORT ROAD

GRAVEL DRIVE

ELEC

76.8'

1/2" IRS
AT 20.00'

GUY WIRE
O/H ELEC LINE

1/2" IRS
AT 328.00'

AIRPORT

PK FND

N 88° 34' 38" W 125.00'

PK SET

ROAD

BEGINNING

2065 Airport Road

SURVEY ACCEPTED BY:

DATE

DATE

DESCRIPTION

That certain lot, tract or parcel of land situated in the E.M. ELLIOTT SURVEY, ABSTRACT NO. [unclear] City of Rockwall, Rockwall County, Texas, and being all of that tract of land as described in a warranty deed from Deloris E. Douglas and Bobby H. Douglas to Will H. Douglas, dated December 10, 1983 and being recorded in Volume 1525, Page 60 of the Real Property Records of Rockwall County, Texas, and being more particularly described as follows:

- POINT OF BEGINNING at a P-K nail found for corner in the center of Airport Road, said point being at the southwest corner of the above cited tract of land;
- BORNE N. 01 deg. 09 min. 28 sec. E., at 20.00 feet pass a 1/2" iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 5034" set for witness and continuing for a total distance of 348.00 feet to a 1/2" iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 5034" set for corner;
- BORNE S. 88 deg. 34 min. 38 sec. E. a distance of 125.00 feet to a 1/2" iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 5034" set for corner;
- BORNE S. 01 deg. 09 min. 28 sec. W., at 328.00 feet pass a 1/2" iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 5034" set for witness and continuing for a total distance of 348.00 feet to a P-K nail set in the center of Airport Road;
- BORNE N. 88 deg. 34 min. 38 sec. W. along the center of Airport Road, a distance of 125.00 feet to POINT OF BEGINNING and containing 1.00 acres of land.

NOTES

According to F.E.M.A. Flood Insurance Rate Map. Community Panel No. 480543 0045 B dated September 17, 1980, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.

HEARING SOURCE: RECORDED PLAT.

ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "R.S.C.I. RPLS 5034."

SURVEYOR'S CERTIFICATE

Harold D. Fetty, III, Registered Professional Land Surveyor No. 5034, do hereby certify that the above plat of the property surveyed for WILL H. DOUGLAS at 2065 AIRPORT ROAD, ROCKWALL County, Texas, is the result of a careful collection of the best evidence available to me and my opinion is based on the facts as found at the time of survey. This survey meets the requirements of the Minimum Standards of Practice as approved and published by the Texas Board of Professional Land Surveying, effective September 1, 1992 and subsequent revisions, and the same was surveyed under my supervision on the ground this the 7th day of June, 2005.

[Handwritten Signature]
 Harold D. Fetty III, R.P.L.S. No. 5034



SYMBOL LEGEND				
⊙	⊙	☎	⊕	⊕
TV	GAS	TEL	FH	PP
TELEVISION	GAS	PHONE	FIRE	POWER
CABLE RISER	METER	RISER	HYDRANT	POLE
▲	⊠	⊗	○	○
ELEC	TU ELEC	WM	1/2" IRF	IRF
METER	BOX	METER	ROD	ROD
ELECTRICAL	SUBJECT	AIR	ROD	ROD
METER	FACE	COND	ROD	ROD
- X -	JUNCTION	UNIT	LP	LP
FENCE	BOX	A/C	LIGHT	PROPERTY
		AIR	POLE	LINE
		COND		
		UNIT		

R.S.C.I.
 ROCKWALL SURVEYING CO., INC.

LAND SURVEYING

SURVEY DATE JUNE 7, 2005
 SCALE 1" = 50' FILE # 20050973
 CLIENT DOUGLAS GF # NONE

LEGEND:

	Land Use <i>NOT</i> Permitted
P	Land Use Permitted <i>By-Right</i>
P	Land Use Permitted with Conditions
S	Land Use Permitted Specific Use Permit (SUP)
X	Land Use Prohibited by Overlay District
A	Land Use Permitted as an Accessory Use

PERMITTED LAND USES IN AN SINGLE FAMILY 16 (SF-16) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference Article 13, Definitions]	CONDITIONAL USE REFERENCE Reference Article 04, Permissible Uses]	SINGLE FAMILY 16 (SF-16) DISTRICT
AGRICULTURAL AND ANIMAL RELATED LAND USES	2.02(A)	2.03(A)	
Agricultural Uses on Unplatted Land	(1)		P
Community Garden	(11)	(7)	S
Urban Farm	(12)	(8)	S
RESIDENTIAL AND LODGING LAND USES	2.02(B)	2.03(B)	
Residential Accessory Building or Structure	(1)	(1)	P
Residential Garage	(7)	(4) & (5)	A
Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit	(8)	(6)	A
Home Occupation	(9)	(7)	P
Portable Building	(15)	(10)	P
Residential Infill in an Established Subdivision	(16)	(11)	S
Single-Family Detached Structure	(18)	(13)	P
Private Swimming Pool	(20)		A
Private Tennis Court	(21)		S
INSTITUTIONAL AND COMMUNITY SERVICE LAND USES	2.02(C)	2.03(C)	
Church/House of Worship	(4)	(2)	S
Daycare with Seven (7) or More Children	(9)	(4)	S
Group or Community Home	(11)	(5)	P
Public or Private Primary School	(21)	(7)	S
Public or Private Secondary School	(22)	(8)	S
Temporary Education Building for a Public or Private School	(23)	(9)	S
RECREATION, ENTERTAINMENT AND AMUSEMENT LAND USES	2.02(E)	2.03(E)	
Public or Private Community or Recreation Club as an Accessory Use	(4)		S
Private Country Club	(5)		S
Temporary Fundraising Events by Non-Profit	(7)	(4)	P
Public Park or Playground	(12)		P
Tennis Courts (<i>i.e. Not Accessory to a Public or Private Country Club</i>)	(14)		S
RETAIL AND PERSONAL SERVICES LAND USES	2.02(F)	2.03(F)	
Temporary Real Estate Sales Office	(25)		P
COMMERCIAL AND BUSINESS SERVICES LAND USES	2.02(G)	2.03(G)	
Temporary On-Site Construction Office	(18)	(6)	P
INDUSTRIAL AND MANUFACTURING LAND USES	2.02(I)	2.03(I)	
Temporary Asphalt or Concrete Batch Plant	(2)	(2)	P
Mining and Extraction of (Sand, Gravel, Oil and/or Other Materials)	(12)	(5)	S
UTILITIES, COMMUNICATIONS AND TRANSPORTATION LAND USES	2.02(K)	2.03(K)	
Antenna, as an Accessory	(2)	(1)	S
Antenna, for an Amateur Radio	(4)	(3)	A
Antenna Dish	(5)	(4)	A
Utilities (<i>Non-Municipally Owned or Controlled</i>), Including Sanitary Landfill, Water Treatment, and Supply, and Wastewater Treatment	(10)		S

LEGEND:

	Land Use <i>NOT</i> Permitted
P	Land Use Permitted <i>By-Right</i>
P	Land Use Permitted with Conditions
S	Land Use Permitted Specific Use Permit (SUP)
X	Land Use Prohibited by Overlay District
A	Land Use Permitted as an Accessory Use

PERMITTED LAND USES IN AN SINGLE FAMILY 16 (SF-16) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference Article 13, Definitions]	CONDITIONAL USE REFERENCE Reference Article 04, Permissible Uses	SINGLE FAMILY 16 (SF-16) DISTRICT
Municipally Owned or Controlled Facilities, Utilities and Uses	(11)		P
Private Streets	(12)		S
Railroad Yard or Shop	(14)		S
Satellite Dish	(16)		A
Solar Energy Collector Panels and Systems	(17)	(7)	A
Utilities Holding a Franchise from the City of Rockwall	(21)		S
Utility Installation Other than Listed	(22)		S
Utility/Transmission Lines	(23)		S
Wireless Communication Tower	(24)		S

CITY OF ROCKWALL

ORDINANCE NO. 23-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO APPROVE A CHANGE IN ZONING FROM AN AGRICULTURAL (AG) DISTRICT TO SINGLE-FAMILY 16 (SF-16) DISTRICT FOR A 0.93-ACRE TRACT OF LAND IDENTIFIED AS TRACT 17 OF THE E. M. ELLIOT SURVEY, ABSTRACT NO. 77, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING MORE SPECIFICALLY DESCRIBED IN EXHIBIT 'A' AND FURTHER DEPICTED IN EXHIBIT 'B' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Gerzim Daniel for the approval of a Zoning Change from an Agricultural (AG) District to a Single-Family 16 (SF-16) District on a 0.93-acre tract of land identified as Tract 17 of the E. M. Elliot Survey, Abstract No. 77, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, and more fully described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, Texas, as heretofore amended, be and the same are hereby amended by amending the zoning map of the City of Rockwall so as to change the zoning of the *Subject Property* from Agricultural (AG) District to a Single-Family 16 (SF-16) District;

SECTION 2. That the *Subject Property* shall be used only in the manner and for the purposes provided for a Single-Family 16 (SF-16) District as stipulated in Section 01.01, *Use of Land and Buildings*, of Article 04, *Permissible Uses* and Subsection 03.01, *General Residential District Standards*; Subsection 03.06, *Single-Family 16 (SF-16) District*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting of this zoning change, and as maybe amended in the future;

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in the

zoning described herein;

SECTION 4. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 5. If any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code (UDC) of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable; and

SECTION 6. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect;

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 17th DAY OF JULY, 2023.

Trace Johannesen, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: June 19, 2023

2nd Reading: July 17, 2023

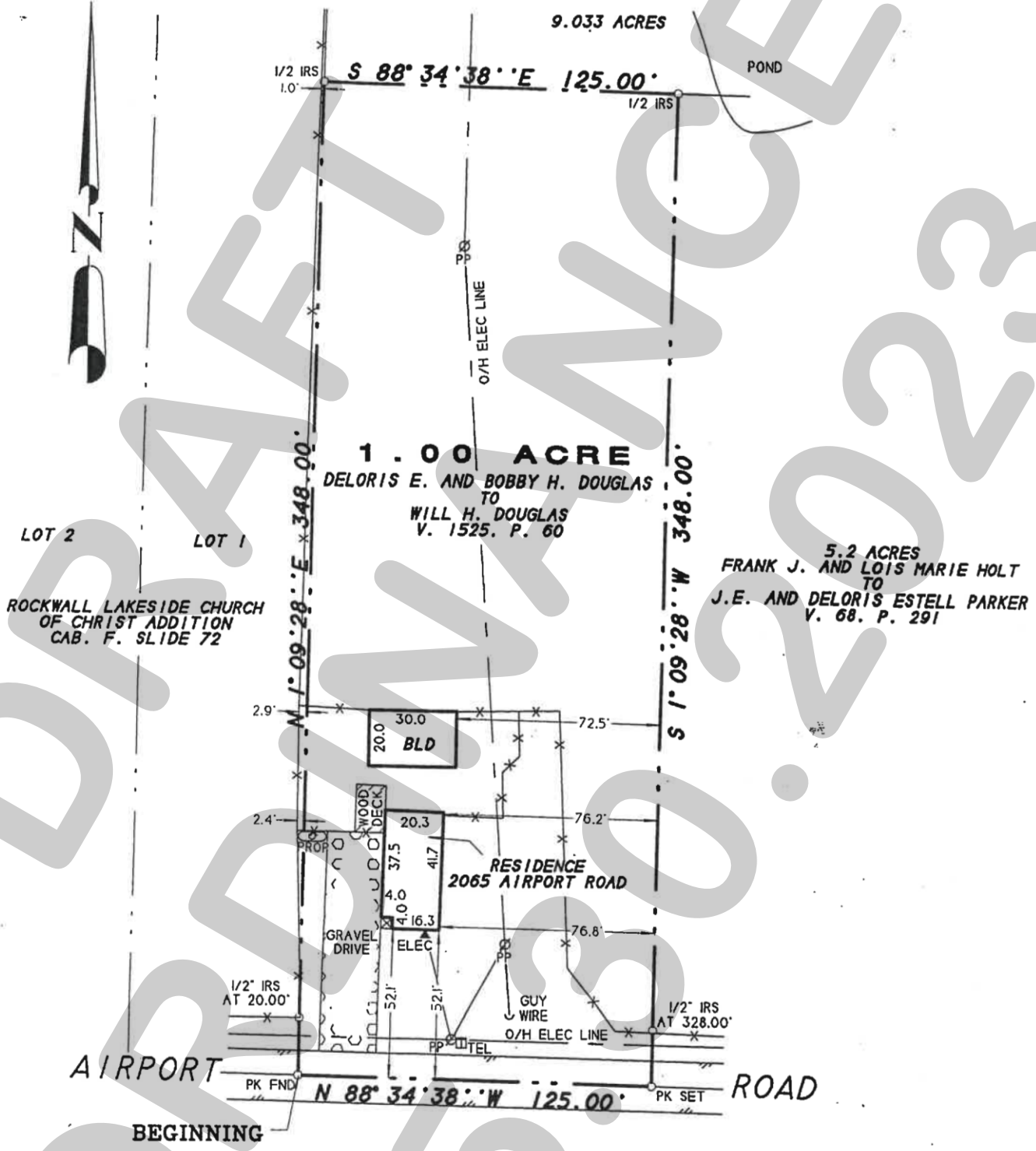
Exhibit 'A'
Location Map

Address: 2065 Airport Road

Legal Description: Tract 17 of the E. M. Elliot Survey, Abstract No. 77



Exhibit 'B'
Zoning Exhibit



PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 5/25/2023

PROJECT NUMBER: Z2023-027
PROJECT NAME: Residential Infill at 110 Mischief Lane
SITE ADDRESS/LOCATIONS: 110 MISCHIEF LN

CASE CAPTION: Hold a public hearing to discuss and consider a request by Vanio Dilov for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.2250-acre parcel of land identified as Lot 16, Block A, Chandler's Landing, Phase 20 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family homes, addressed as 110 Mischief Lane, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Angelica Guevara	05/25/2023	Approved w/ Comments

05/25/2023: Z2023-027; Specific Use Permit (SUP) for Residential Infill for 110 Mischief Lane
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This request is for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.2250-acre parcel of land identified as Lot 16, Block A, Chandler's Landing, Phase 20 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family homes, addressed as 110 Mischief Lane.

I.2 For questions or comments concerning this case please contact Angelica Guevara in the Planning Department at (972) 772-6438 or email aguevara@rockwall.com.

M.3 For reference, include the case number (Z2023-027) in the lower right-hand corner of all pages on future submittals.

I.4 According to Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), an Established Subdivision is defined as any subdivision that [1] consists of five (5) or more lots, [2] that is 90% or more developed, and [3] that has been in existence for more than ten (10) years. In this case, the subject property is located within the Chandler's Landing Phase 20 Subdivision, which is more than 90% developed and has been in existence for more than 10 years.

I.5 Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), states that "(i)n reviewing the Specific Use Permit (SUP), the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing in the Established Subdivision ... {and} all housing proposed under this section shall be constructed to be architecturally and visually similar or complimentary to the existing housing in the Established Subdivision."

M.6 According to Subsection 04.01(B), Lots Less Than Five Acres, of Article 06, Parking and Loading, garages located in single family districts must be located 20-feet behind the front façade of the building. In this case, the proposed garage will be a j-swing garage.

M.7 Please review the attached Draft Ordinance prior to the May 30, 2023 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than June 7, 2023.

I.8 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on June 7, 2023; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the June 13, 2023 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on May 30, 2023.

I.9 The projected City Council meeting dates for this case will be June 19, 2023 (1st Reading) and July 17, 2023 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
------------	----------	----------------	-------------------

ENGINEERING

Sarah Johnston

05/25/2023

Needs Review

05/25/2023: - Show manhole and 6" sewer line.

- Fences and structures will not be allowed within easement.

- Show and label 18" storm line.

DEPARTMENT

REVIEWER

DATE OF REVIEW

STATUS OF PROJECT

BUILDING

Rusty McDowell

05/22/2023

Approved

No Comments

DEPARTMENT

REVIEWER

DATE OF REVIEW

STATUS OF PROJECT

FIRE

Ariana Kistner

05/23/2023

Approved

No Comments

DEPARTMENT

REVIEWER

DATE OF REVIEW

STATUS OF PROJECT

GIS

Lance Singleton

05/23/2023

Approved

No Comments

DEPARTMENT

REVIEWER

DATE OF REVIEW

STATUS OF PROJECT

POLICE

Chris Cleveland

05/19/2023

Approved

No Comments

DEPARTMENT

REVIEWER

DATE OF REVIEW

STATUS OF PROJECT

PARKS

Travis Sales

05/22/2023

Approved

No Comments



DESIGN DEVELOPMENT
SERVICES
PLANO, TX 75002
PH. (214) 929-5086

DO NOT SCALE DRAWINGS
CONTRACTOR TO VERIFY ALL
EXISTING CONDITIONS AND
DIMENSIONS-NOTIFY GENERAL
CONTRACTOR OF ANY
DISCREPANCIES PRIOR TO
BEGINNING CONSTRUCTION
24x36 PRINT

OWNER/CONTRACTOR

VANIO & DESI

DILOV

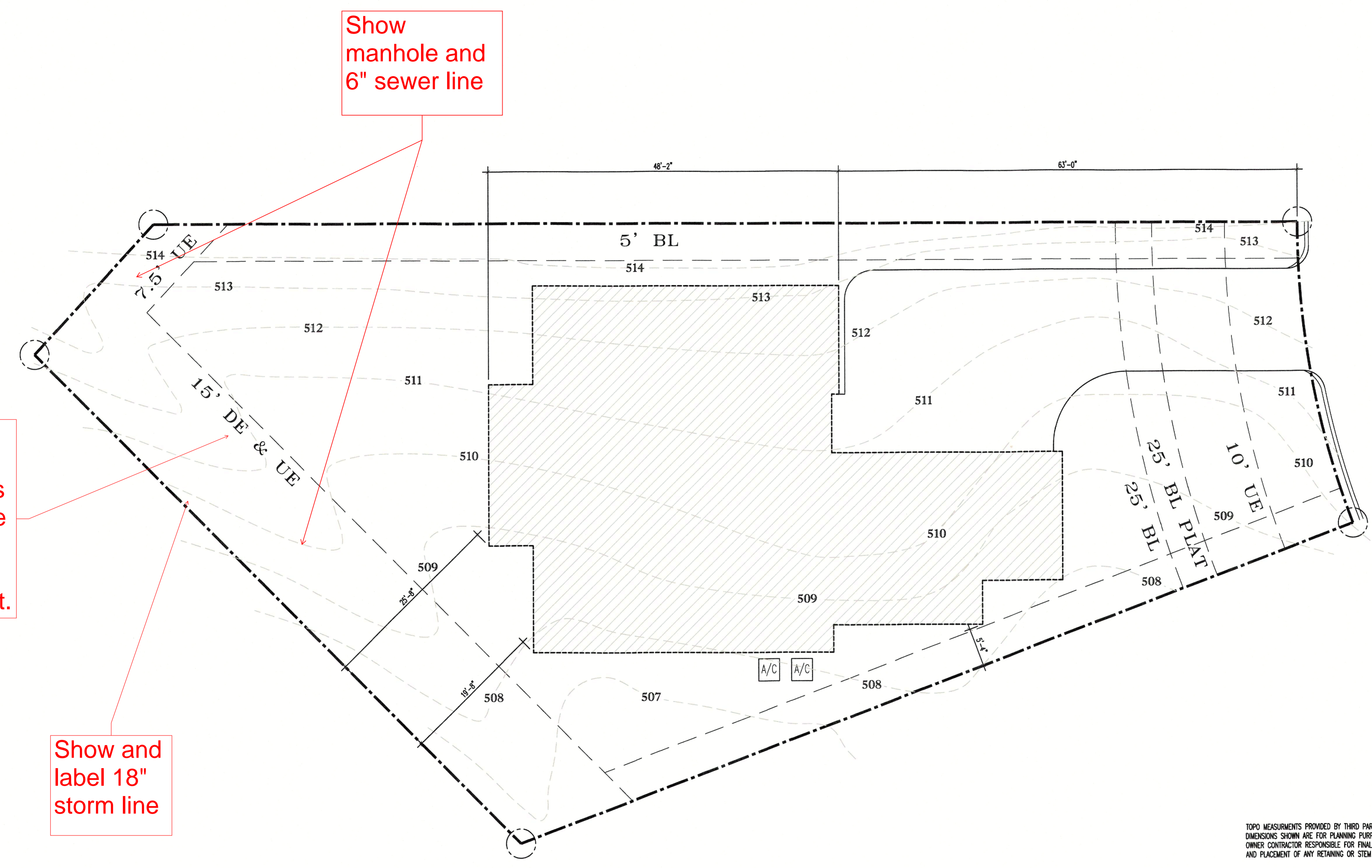
2717 LAKEWOOD DR.

ROWLETT, TX 75088

(972) 672-7777

LOT 16 BLK A CHANDLERS LAANDING PH 20
SPEC BUILD
110 MISCHIEF LANE
ROCKWALL, TX 75032
ROCKWALL COUNTY

110
MISCHIEF
LANE

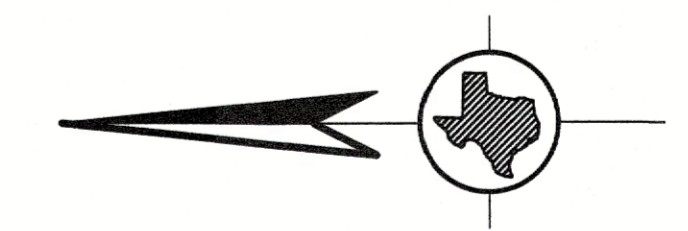


Show
manhole and
6" sewer line

Fences
and
structures
will not be
allowed
within
easement.

Show and
label 18"
storm line

TOPO MEASUREMENTS PROVIDED BY THIRD PARTY SURVEY
DIMENSIONS SHOWN ARE FOR PLANNING PURPOSES ONLY
OWNER CONTRACTOR RESPONSIBLE FOR FINAL FORM SURVEY
AND PLACEMENT OF ANY RETAINING OR STEM WALLS



01 SLAB PROFILE ON SITE PLAN
SCALE: 1/8"=1'-0"

NO REVISION

05-10-23

SHEET NUMBER

A0.5



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 110 MISCHIEF W Rockwall TX 75032
 SUBDIVISION CHANDLER'S LANDING LOT 15 BLOCK A
 GENERAL LOCATION Rockwall

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING RESIDENCIAL CURRENT USE VACANT LOT
 PROPOSED ZONING RESIDENCIAL PROPOSED USE NEW HOUSE
 ACREAGE _____ LOTS [CURRENT] _____ LOTS [PROPOSED] _____

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> OWNER	<u>VANIO DILOV</u>	<input checked="" type="checkbox"/> APPLICANT	<u>VANIO DILOV</u>
CONTACT PERSON	<u>VANIO DILOV</u>	CONTACT PERSON	<u>VANIO DILOV</u>
ADDRESS	<u>2717 LAKEWOOD DR. ROWLETT</u>	ADDRESS	<u>2717 LAKEWOOD DR. ROWLETT</u>
CITY, STATE & ZIP	<u>TX. 75088</u>	CITY, STATE & ZIP	<u>TX. 75088</u>
PHONE	<u>972-672-7777</u>	PHONE	<u>972-672-7777</u>
E-MAIL	<u>Desi.Dilov@gmail.com</u>	E-MAIL	<u>Desi.Dilov@gmail.com</u>

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Vanio Dilov [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

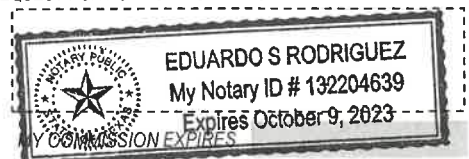
¹ I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 17th DAY OF MAY, 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17th DAY OF MAY, 2023

OWNER'S SIGNATURE

[Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



0 25 50 100 150 200 Feet

Z2023-027: Specific Use Permit for Residential Infill at 110 Mischief Lane



Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

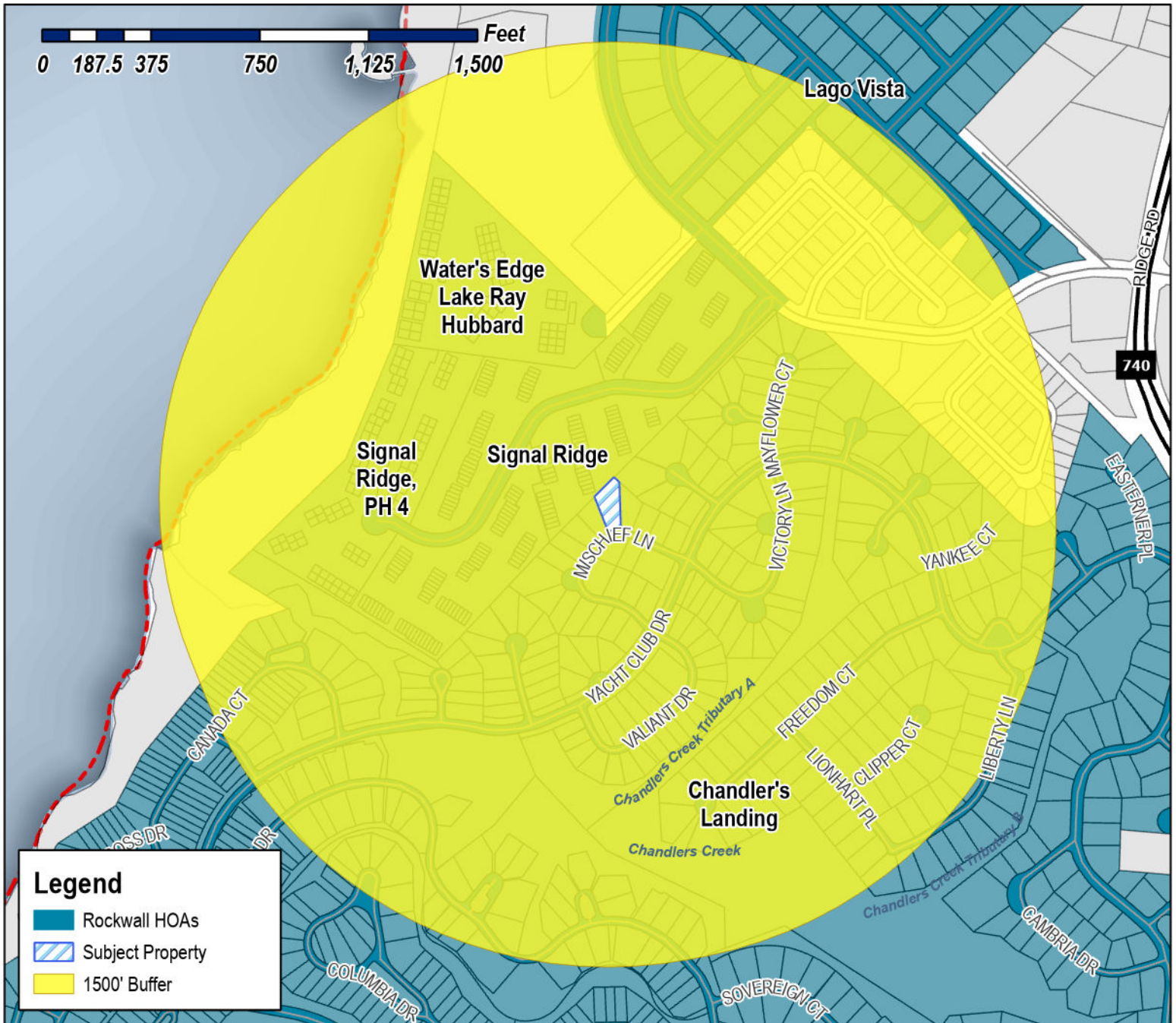




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2023-027
Case Name: SUP for Residential Infill
Case Type: ZONING
Zoning: Planned Development District 8 (PD-8)
Case Address: 110 Mischief Lane

Date Saved: 5/23/2023
 For Questions on this Case Call (972) 771-7745



Guevara, Angelica

From: Zavala, Melanie
Sent: Tuesday, May 23, 2023 3:12 PM
Cc: Miller, Ryan; Ross, Bethany; Lee, Henry; Guevara, Angelica
Subject: Neighborhood Notification Program [Z2023-027]
Attachments: Public Notice (05.23.2023).pdf; HOA Map (05.23.2023).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *May 26, 2023*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, June 13, 2023 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, June 19, 2023 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2023-027: SUP for Residential Infill at 110 Mischief Lane

Hold a public hearing to discuss and consider a request by Vanio Dilov for the approval of a *Specific Use Permit (SUP) for Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.2250-acre parcel of land identified as Lot 16, Block A, Chandler's Landing, Phase 20 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family homes, addressed as 110 Mischief Lane, and take any action necessary.

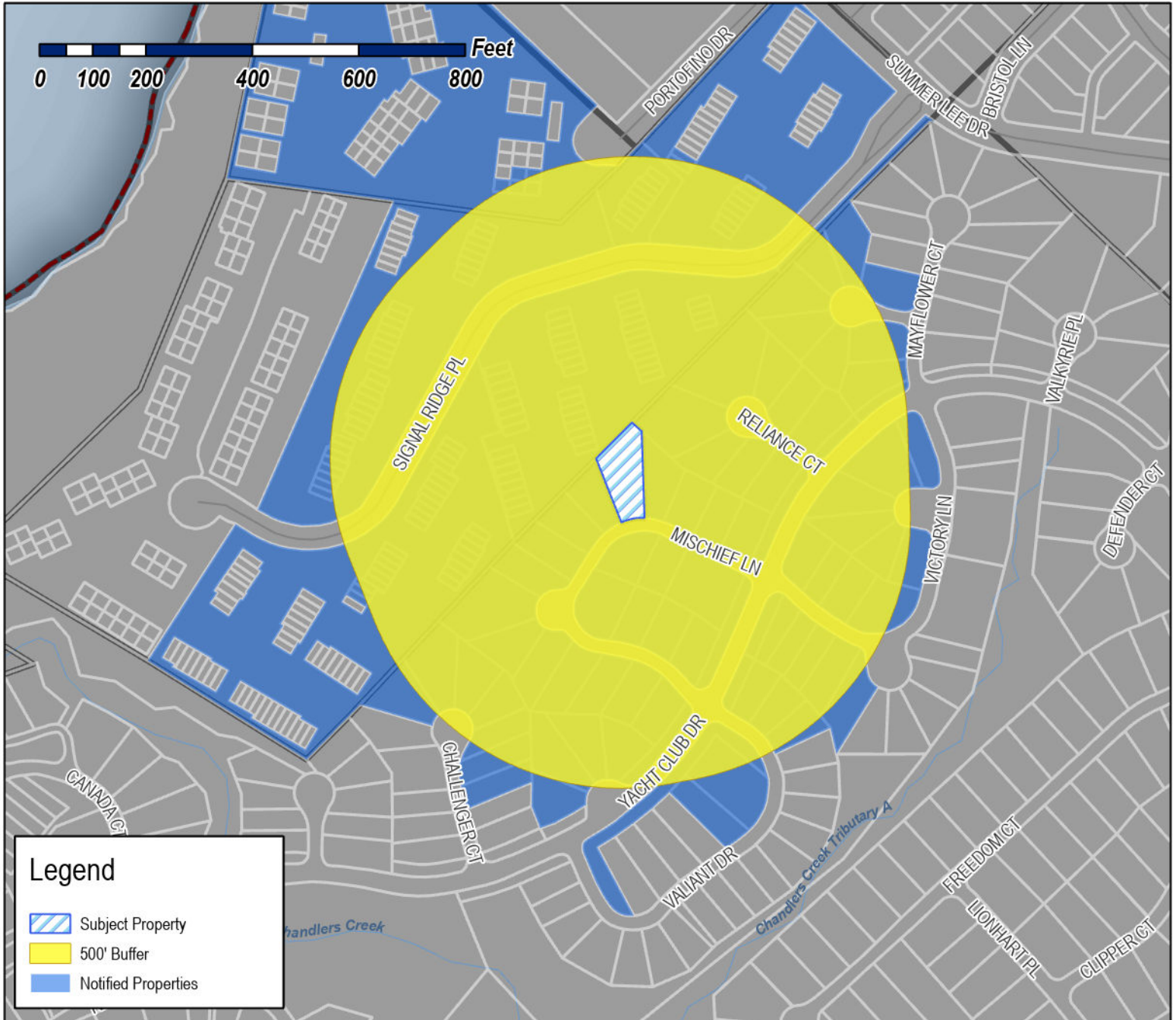
Thank You,
Melanie Zavala
Planning Coordinator
City of Rockwall Planning & Zoning
385 S. Goliad Street
Rockwall, TX 75087
Office: 972-771-7745
Direct: 972-771-6568



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2023-027
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 8 (PD-8)
Case Address: 110 Mischieff Lane

Date Saved: 5/23/2023

For Questions on this Case Call: (972) 771-7746



BELOTE GARLAND III
1001 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

MEAVE DAVID MICHAEL
1002 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1003 SIGNAL RIDGE PL
ROCKWALL, TX 75032

SINNOTT KATHY
1004 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1005 SIGNAL RIDGE PL
ROCKWALL, TX 75032

SEPEHRI SUSAN M
1006 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

BROYLES STEPHANIE
1007 SIGNAL RIDGE PL
ROCKWALL, TX 75032

CHAPMAN PAMELA JEAN
1008 SIGNAL RIDGE
ROCKWALL, TX 75032

MIEROW SHARON A
1009 SIGNAL RIDGE PL
ROCKWALL, TX 75032

GOODMAN CARLA
101 DAME PATTIE DR
ROCKWALL, TX 75032

LANGSTON JOHN AND FRIEDA
101 MAYFLOWER CT
ROCKWALL, TX 75032

SWEET CHASE AND SADIE
101 RELIANCE CT
ROCKWALL, TX 75032

PLUTUS21 DEVELOPMENT FUND V LLC
101 S BROOKSIDE DR APT 2505
DALLAS, TX 75214

MCAFFEE CANDACE
1010 SIGNAL RIDGE PL
ROCKWALL, TX 75032

FOREMAN JANET
1011 SIGNAL RIDGE PL
ROCKWALL, TX 75032

ESTILL KENNETH W & CONNIE R
1012 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1013 SIGNAL RIDGE PL
ROCKWALL, TX 75032

WORTHY SHARON A
1014 SIGNAL RIDGE PL
ROCKWALL, TX 75032

ROGERS JOE ELLIS
1015 SIGNAL RIDGE PL
ROCKWALL, TX 75032

GRAGG CAROL
1016 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1017 SIGNAL RIDGE PL
ROCKWALL, TX 75032

VANGUARD PORTABLE SOLUTIONS INC
1017 NATIVE TR
HEATH, TX 75032

RESIDENT
1018 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1019 SIGNAL RIDGE PL
ROCKWALL, TX 75032

HUNTER STEVEN R AND KAREN J
102 DAME PATTIE DRIVE
ROCKWALL, TX 75032

HALL CORI
102 MISCHIEF LANE
ROCKWALL, TX 75032

CHENAULT JOSH & NATHALIE
102 RELIANCE COURT
ROCKWALL, TX 75032

WAGNER JULIE A
1020 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

RESIDENT
1021 SIGNAL RIDGE PL
ROCKWALL, TX 75032

GIBBS STEPHANIE L
1022 SIGNAL RIDGE PLACE
ROCKWALL, TX 75087

RESIDENT
1023 SIGNAL RIDGE PL
ROCKWALL, TX 75032

VAIL SYDNEY
1024 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1025 SIGNAL RIDGE PL
ROCKWALL, TX 75032

WHITE RANDY
1026 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1027 SIGNAL RIDGE PL
ROCKWALL, TX 75032

JOSEPH JACOB
1028 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1029 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
103 DAME PATTIE
ROCKWALL, TX 75032

RESIDENT
103 MAYFLOWER CT
ROCKWALL, TX 75032

BCL REAL ESTATE LLC
103 GROSS RD BLDG A
MESQUITE, TX 75149

AUSTIN CHRISTI LYNN
103 RELIANCE COURT
ROCKWALL, TX 75032

DUKE HEATHER
1030 SIGNAL RIDGE PL UNIT 1030
ROCKWALL, TX 75032

RESIDENT
1031 SIGNAL RIDGE PL
ROCKWALL, TX 75032

PERROTTA SHARON
1032 SIGNAL RIDGE PL
ROCKWALL, TX 75032

JOHNSTON SHARRON
1033 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

RESIDENT
1034 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1035 SIGNAL RIDGE PL
ROCKWALL, TX 75032

PRYOR MICA MALONEY
1036 SIGNAL RIDGE PLACE #1036
ROCKWALL, TX 75032

RESIDENT
1037 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1038 SIGNAL RIDGE PL
ROCKWALL, TX 75032

CONNER JANICE S
1039 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
104 RELIANCE CT
ROCKWALL, TX 75032

FAYAD HUSSAIN
104 DAME PATTIE DRIVE
ROCKWALL, TX 75032

CARR LORI
104 MISCHIEF LN
ROCKWALL, TX 75032

RESIDENT
1040 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1041 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1042 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1043 SIGNAL RIDGE PL
ROCKWALL, TX 75032

TRINGALI CAHTERINE
1044 SIGNAL RIDGE PL
ROCKWALL, TX 75032

KILGORE MADISON
1045 SIGNAL RIDGE PL
ROCKWALL, TX 75032

YANGER LISA
1046 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1047 SIGNAL RIDGE PL
ROCKWALL, TX 75032

ZAJDL SALLY A
1048 SIGNAL RIDGE PL
ROCKWALL, TX 75032

OCONNOR MICHAEL
105 MAYFLOWER CT
ROCKWALL, TX 75032

JOHNSON ROBERT & DOLORES
105 MISCHIEF LN
ROCKWALL, TX 75032

HAYES BRANDON
105 RELIANCE CT
ROCKWALL, TX 75032

GRAF DANIEL & JESSICA
106 MISCHIEF LANE
ROCKWALL, TX 75032

CHRISTIAN ANGELA LEE
106 RELIANCE CT
ROCKWALL, TX 75032

TOVAR ADAN AND CAROLYNN JEWELL MALICK-
GILBREATH
107 RELIANCE CT
ROCKWALL, TX 75032

CARRILLO VICTOR G
108 MISCHIEF LN
ROCKWALL, TX 75032

PETERSEN CARL S & WENDY
108 RELIANCE CT
ROCKWALL, TX 75032

NORTEX PROPERTIES INC
% JOSEPH L ZEHR
10808 LA CABREAH LN
FORT WAYNE, IN 46845

HAGIN GARY L & W ANNE
109 MISCHIEF LN
ROCKWALL, TX 75032

RESIDENT
110 MISCHIEF LN
ROCKWALL, TX 75032

FULTZ PEGGY J & TOMMY G
1101 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1102 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1103 SIGNAL RIDGE PL
ROCKWALL, TX 75032

GARZA OLIVIA L AND FIDENCIO
1104 SIGNAL RIDGE #1104
ROCKWALL, TX 75032

RESIDENT
1105 SIGNAL RIDGE PL
ROCKWALL, TX 75032

GARDNER DAVID L REV LIV TR
1105 51ST ST W
BRADENTON, FL 34209

GARDNER DAVID L REVOCABLE LIVING TRUST
DAVID L GARDNER TRUSTEE
1105 51ST ST W
BRADENTON, FL 34209

OGLIN THOMAS J & JOYCE L
1106 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1107 SIGNAL RIDGE PL
ROCKWALL, TX 75032

JOHNS ETHAN
1108 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

RUBIO CONNIE L
1109 SIGNAL RIDGE PL
ROCKWALL, TX 75032

CORDELL-JOHNSON KIMBERLY
1110 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

RESIDENT
1111 SIGNAL RIDGE PL
ROCKWALL, TX 75032

MILLER JEFFRY AND KATHLEEN
1111 VISTA GRANDE ROAD
EL CAJON, CA 92019

TWOMEY ELIZABETH A
1112 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1113 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1114 SIGNAL RIDGE PL
ROCKWALL, TX 75032

MATHERNE JUDITH L
1115 SIGNAL RIDGE PL
ROCKWALL, TX 75032

MAKE READY RENOVATIONS LLC
1116 SIGNAL RIDGE PL
ROCKWALL, TX 75032

MARKHAM DIANNA
1117 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

LEVENTHAL PATRICK J
1118 SIGNAL RIDGE PL
ROCKWALL, TX 75032

BULLOCK JEFFREY B AND
MARGARITA HEREDIA
1119 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

TAN DAVID L AND SHANNON K
112 MISCHIEF LANE
ROCKWALL, TX 75032

FREEMAN RICHARD WILLIAM
1120 LIVE OAK CIRCLE
SHERMAN, TX 75092

LAMAN FRANCES ANN
1120 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

RESIDENT
1121 SIGNAL RIDGE PL
ROCKWALL, TX 75032

LAWRENCE ALAN
1122 SIGNAL RIDGE PLACE # 1122
ROCKWALL, TX 75032

RESIDENT
1123 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1124 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1125 SIGNAL RIDGE PL
ROCKWALL, TX 75032

GUERRA CHRISTOPHER
1126 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

RESIDENT
1127 SIGNAL RIDGE PL
ROCKWALL, TX 75032

VAUGHAN CULLY & SARA
1128 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1129 SIGNAL RIDGE PL
ROCKWALL, TX 75032

GEORGE ELIZABETH M AND ROBIN J
114 MISCHIEF LANE
ROCKWALL, TX 75032

LETT LORNA
116 MISCHIEF LN
ROCKWALL, TX 75032

RESIDENT
118 MISCHIEF LN
ROCKWALL, TX 75032

PUSTEJOVSKY MARK
11875 CR 4026
KEMP, TX 75143

COOK NATHAN & COURTNEY
120 MISCHIEF LN
ROCKWALL, TX 75032

GONZALEZ KEITH R & DEANNA J
120 PURITAN CT
ROCKWALL, TX 75032

LOWREY COLT A AND
LEO WISE
122 MISCHIEF LN
ROCKWALL, TX 75032

HORTON TREVOR L AND MEGAN
122 PURITAN COURT
ROCKWALL, TX 75032

MCMURTRE DREW
1220 COIT RD STE 107
PLANO, TX 75075

MONTOYA ASHLEY R & JOSE L
124 MISCHIEF LANE
ROCKWALL, TX 75032

POTISKA PATRICIA
124 PURITAN CT
ROCKWALL, TX 75032

RESIDENT
125 MISCHIEF LN
ROCKWALL, TX 75032

LOPEZ CHRIS MARK AND ASHLEY MARIE
126 MISCHIEF LN
ROCKWALL, TX 75087

WINKLES GARY AND KRISTY
126 PURITAN CT
ROCKWALL, TX 75032

MARTIN NAN YI
127 MICHIEF LANE
ROCKWALL, TX 75032

RESIDENT
128 PURITAN CT
ROCKWALL, TX 75032

HALAMA STEVEN
128 MISCHIEF LN
ROCKWALL, TX 75032

MANSFIELD PHYLLIS J
129 MISCHIEF LANE
ROCKWALL, TX 75032

HARGROVE PATRICIA ANN
130 MISCHIEF LANE
ROCKWALL, TX 75032

CHURY JENNIFER LEIGH & BRIAN D
131 MISCHIEF LANE
ROCKWALL, TX 75032

RESIDENT
132 MISCHIEF LN
ROCKWALL, TX 75032

LANIGAN TIFFANY LEE
143 STEVENSON DR
FATE, TX 75087

PARNES DROR & ALEXANDRA
15 KESTREL COURT
ROCKWALL, TX 75032

RESIDENT
1501 SIGNAL RIDGE PL
ROCKWALL, TX 75032

WEST VICTORIA FELICIA
1502 SIGNAL RIDGE
ROCKWALL, TX 75032

LE VASSEUR SANDI
1503 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1504 SIGNAL RIDGE PL
ROCKWALL, TX 75032

BRINKMAN VICKI LYNN
1505 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1506 SIGNAL RIDGE PL
ROCKWALL, TX 75032

FITZGERALD LARRY R AND JACQUELINE
1507 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1508 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1517 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1518 SIGNAL RIDGE PL
ROCKWALL, TX 75032

GUERRA JUSTIN
1519 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

DECKER SARAH E
1520 SIGNAL RIDGE PL
ROCKWALL, TX 75032

MCCLENDON JAMIE
1521 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1522 SIGNAL RIDGE PL
ROCKWALL, TX 75032

BROWN CORY
1523 SIGNAL RIDGE
ROCKWALL, TX 75032

TABOR MARILYN W
1524 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1525 SIGNAL RIDGE PL
ROCKWALL, TX 75032

OSBORN LARETHA
1526 SIGNAL RIDGE PLACE UNIT 1526
ROCKWALL, TX 75032

RESIDENT
1527 SIGNAL RIDGE PL
ROCKWALL, TX 75032

VANCLEVE BARRY CURTIS
1528 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

RESIDENT
1529 SIGNAL RIDGE PL
ROCKWALL, TX 75032

PINSON JON JEFFREY
1530 SIGNAL RIDGE PLACE BLDG S, UNIT 3
ROCKWALL, TX 75032

RESIDENT
1531 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1532 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1533 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1534 SIGNAL RIDGE PL
ROCKWALL, TX 75032

NALL JODEE WAYNE
1535 SIGNAL RIDGE PL UNIT 3
ROCKWALL, TX 75032

SCHAR KATIE AND ERNST
1536 SIGNAL RIDGE PL UNIT 3
ROCKWALL, TX 75032

RESIDENT
1537 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1538 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1539 SIGNAL RIDGE PL
ROCKWALL, TX 75032

WILLIAMS CHARLES M AND TIFFANY
1540 SIGNAL RIDGE PL
ROCKWALL, TX 75032

CURRENS WAYNE & ARLENE TRUSTEES
BUCHNER/CURRENS FAMILY TRUST
16 LAKEWAY DR
HEATH, TX 75032

2019-1 IH BORROWER LP
1717 MAIN SST SUITE 2000
DALLAS, TX 75201

2019-1 IH BORROWER LP
1717 MAIN SST SUITE 2000
DALLAS, TX 75201

MEDINA ALEJANDRO
1800 DALROCK #100
ROWLETT, TX 75088

DWA EQUITIES LLC
1802 SIGNAL RIDGE
ROCKWALL, TX 75032

BREZ RAYMOND C & M LYNNE TRUSTEES
BREZ FAMILY TRUST
1910 SIGNAL RIDGE
ROCKWALL, TX 75032

OLSEN CATHERINE A
1920 KINGS PASS
HEATH, TX 75032

MILLENNIUM TRUST COMPANY LLC
CUSTODIAN FBO WILLIAM COMPTON
2001 SPRING RD SUITE 700
OAK BROOK, IL 60523

HARVILLE BRET
2003 PORTOFINO DR
ROCKWALL, TX 75032

LARAPINTA LLC
2028 E. BEN WHITE BLVD # 240-5820
AUSTIN, TX 75741

RESIDENT
2030 PORTOFINO DR
ROCKWALL, TX 75032

RESIDENT
2032 PORTOFINO DR
ROCKWALL, TX 75032

RESIDENT
2034 PORTOFINO DR
ROCKWALL, TX 75032

RESIDENT
2036 PORTOFINO DR
ROCKWALL, TX 75032

RESIDENT
2038 PORTOFINO DR
ROCKWALL, TX 75032

MOORE GREGORY J
2140 PORTOFINO DR
ROCKWALL, TX 75032

HENDERSON DON AND MARIA
234 BRISTOL CT
HEATH, TX 75032

AMH 2014-2 BORROWER LLC
23975 PARK SORRENTO SUITE 300
CALABASAS, CA 91302

PINK DALLAS LLC
240 WILLOWCREST
ROCKWALL, TX 75032

ODOM LACEY AND JOSH
2402 YACHT CLUB DR
ROCKWALL, TX 75032

PARRISH WENDY R
246 VICTORY LN
ROCKWALL, TX 75032

TONA CHAD J & MARTI
256 VICTORY LANE
ROCKWALL, TX 75032

HANSEN J D & PATRICIA
262 VICTORY LN
ROCKWALL, TX 75032

RESIDENT
264 VICTORY LN
ROCKWALL, TX 75032

STUBBLEFIELD SUSAN
268 VICTORY LN
ROCKWALL, TX 75032

DILOV VANIO
2717 LAKEWOOD DR
ROWLETT, TX 75088

FRANCISCO CAROLYN ELLISON
272 VICTORY LN
ROCKWALL, TX 75032

BURKETT BENJAMIN HERRINGTON E
MARY R BURKETT CUSTODIAN
277 TERRY LANE
HEATH, TX 75032

BURKETT MARY REBECCA EASON
277 TERRY LN
HEATH, TX 75032

HALL JASON M & CORI M
284 VICTORY LN
ROCKWALL, TX 75032

BAILEY RONALD C AND BETH K
2919 COUNTRY PLACE CIR
CARROLLTON, TX 75006

SALT PROPERTIES LLC
2931 RIDGE ROAD SUITE 101-181
ROCKWALL, TX 75032

SEEDS DAVID R
2961 S CHERRY WAY
DENVER, CO 80222

LYNN JASON AND DANIELLE
297 VICTORY LANE
ROCKWALL, TX 75032

BEVILL HELEN M AND
CHANDRA KARLEN
2977 OAK DR
ROCKWALL, TX 75032

PERRY GEORGE DAVID & SANDRA SUE
299 VICTORY LN
ROCKWALL, TX 75032

MIRFENDERESKI JONAH JAVAD AND
NALINA MICHELLE SHAPIRO
301 VALIANT DRIVE
ROCKWALL, TX 75032

SULLIVAN MORTIMER M & CAROLYN B
REV LIVING TRUST AGREEMENT
3020 RIDGE RD
ROCKWALL, TX 75032

RESIDENT
303 VALIANT DR
ROCKWALL, TX 75032

HALL TABITHA AMY AND
TERESA ADAMS
305 VALIANT DR
ROCKWALL, TX 75032

RESIDENT
306 VICTORY LN
ROCKWALL, TX 75032

MCAIR KELLY
307 VICTORY LN
ROCKWALL, TX 75032

FALLS DAVID & TERRI
309 ROOKERY CT
MARCO ISLAND, FL 34145

RESIDENT
310 VICTORY LN
ROCKWALL, TX 75032

SMITH JOSHUA AND
MAEGAN HOLLOWAY
314 VALIANT DR
ROCKWALL, TX 75032

MAY DEBRA AND RODNEY
314 VICTORY LN
ROCKWALL, TX 75032

LOREDO SARAHI
315 VICTORY LN
ROCKWALL, TX 75032

MURPHY CASEY D AND BRIANNA
318 VALIANT DRIVE
ROCKWALL, TX 75032

LIECHTY SHIRLEY JEAN
C/O MRS AMY JENSEN
331 MOCKINGBIRD LN
AUBURN, AL 36830

LESLIE RANDY
349 E ELDORADO DR
SCROGGINS, TX 75480

STRAHM ROBERT & DENA LYNNE
351 EQUESTRIAN DR
ROCKWALL, TX 75032

PALERMO JAMES ALBERT
411 DRIFTWOOD ST
ROCKWALL, TX 75087

YANGER MORRIS & DORIS
427 COLUMBIA DR
ROCKWALL, TX 75032

BRACK KENYATTA AND SELEAN TURNER
4501 YACHT CLUB DRIVE
ROCKWALL, TX 75032

KUMAR ANVITA
4701 COPPER MOUNTAIN LANE
RICHARDSON, TX 75082

BYRUM JO ANN
504 N ALAMO ROAD
ROCKWALL, TX 75087

BOUSSERT ANNE S & CHRISTIAN B
516 CAMELIA AVE
BATON ROUGE, LA 70806

HARMON H VICTOR
519 E INTERSTATE 30 PMB 212
ROCKWALL, TX 75087

ROSHAN KC
5335 BROADWAY BLVD #210
GARLAND, TX 75043

VEGA DAVID AND ALICIA C
550 MCDONALD ROAD
HEATH, TX 75032

RESIDENT
5506 CHALLENGER CT
ROCKWALL, TX 75032

NORTON ANGELA
5508 CHALLENGER CT
ROCKWALL, TX 75032

BRADSHAW ADRIAN
5510 CHALLENGER COURT
ROCKWALL, TX 75032

RESIDENT
5512 CHALLENGER CT
ROCKWALL, TX 75032

STARBIRD RYAN D AND LAUREN
5514 CHALLENGER CT
ROCKWALL, TX 75032

CABANISS CHAR CHERICE
DAVID R DE LA CERDA
5516 CHALLENGER CT
ROCKWALL, TX 75032

FREDERIKSEN JOHN C & ARLENE C REV LIV TR
JOHN C & ARLENE C FREDERIKSEN TRUSTEES
5518 CHALLENGER CT
ROCKWALL, TX 75032

ROCKWALL PROPERTY SOLUTIONS
643 TURTLE COVE BLVD
ROCKWALL, TX 75087

MUNGER JEFFREY K AND GAIL SLOANE
6558 FOXDALE CIRCLE
COLORADO SPRINGS, CO 80919

CORL JON & KIMBERLY BETH CORL AND
ELIZABETH EDWARDS
668 FEATHERSTONE DRIVE
ROCKWALL, TX 75087

THOMAS VELIA
7317 LOUGHEED PLZ
PLANO, TX 75025

PATTERSON WILLIAM L JR AND DWAYLA L
REVOCABLE LIVING TRUST
782 HANOVER DR
ROCKWALL, TX 75087

BENTON EMILY AND
LORI BENTON
785 WINDING RIDGE LN
ROCKWALL, TX 75032

RESIDENT
801 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
801 SIGNAL RIDGE PL
ROCKWALL, TX 75032

ARMSTRONG D
804 EAGLE PASS
HEATH, TX 75032

ARMSTRONG JOHN D III AND INDIVIDUAL
804 EAGLE PASS
HEATH, TX 75032

BRAY SHAWN & HANNAH GRACE LEHMANN-
BRAY
809 SIGNAL RIDGE
ROCKWALL, TX 75032

GERAULT JANET
810 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
811 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
812 SIGNAL RIDGE PL
ROCKWALL, TX 75032

DUNN FAMILY TRUST AND DUNN MARITAL
TRUST
ALMA JEAN DEAN- TRUSTEE
813 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

BRASHEARS KARI
814 SIGNAL RIDGE PL
ROCKWALL, TX 75032

ANDREW JONATHON
815 SIGNAL RIDGE
ROCKWALL, TX 75032

RESIDENT
816 SIGNAL RIDGE PL
ROCKWALL, TX 75032

CROW BILL CHARLES & RUTH ELIZABETH
828 CR 1035
COOPER, TX 75432

RESIDENT
919 SIGNAL RIDGE PL
ROCKWALL, TX 75032

INZILLO FRANCA
920 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
921 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
921 SIGNAL RIDGE PL
ROCKWALL, TX 75032

BEST JAMES AND DEBRA
922 SENDERA LN
ROCKWALL, TX 75087

MURRAY NORMA C
922 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
923 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
924 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
925 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
926 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
927 SIGNAL RIDGE PL
ROCKWALL, TX 75032

WILEY ALEXANDRIA AND JOHN WESLEY
SHELTON
928 SIGNAL RIDGE PL
ROCKWALL, TX 75032

GREEN MAUREEN
945 BREEZY HILL LANE
ROCKWALL, TX 75087

HARRIS SUSAN
9660 ALPHA LN
QUINLAN, TX 75474

PRICE MOLLIE L TRUST
MOLLIE L PRICE TRUSTEE
C/O CHARLES LINEVILLE P O BOX 743612
DALLAS, TX 75374

AMHILL FINANCIAL, LP
P. O. BOX 1179
ROCKWALL, TX 75087

PAIGE RYAN PROPERTIES LLC
P. O. BOX 853
WYLIE, TX 75098

THE SPACE PLACE, SERIES LLC, SERIES I
P.O. BOX 1271
MOUNT PLEASANT, TX 75456

LOGAN PAULINE K
P.O. BOX 2198
ROCKWALL, TX 75087

MCMINN KIMBERLY
PMB 239 11654 PLAZA AMERICA DR
RESTON, VA 20190

AMHILL FINANCIAL LP
ATTN JIM PETERS
PO BOX 1179
ROCKWALL, TX 75087

KJT FLYING PROPERTIES LLC
PO BOX 1476
ROCKWALL, TX 75087

SRYGLEY JAMES
PO BOX 1928
ROCKWALL, TX 75087

PRICE MOLLIE L TRUST
MOLLIE PRICE TRUSTEE
PO BOX 743612
DALLAS, TX 75374

PRICE MOLLIE L TRUST
MOLLIE PRICE TRUSTEE
PO BOX 743612
DALLAS, TX 75374

RUSH MAJOR
PO BOX 760794
GARLAND, TX 75046

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2023-027: SUP for Residential Infill

Hold a public hearing to discuss and consider a request by Vanio Dilov for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.2250-acre parcel of land identified as Lot 16, Block A, Chandler's Landing, Phase 20 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family homes, addressed as 110 Mischief Lane, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, June 13, 2023 at 6:00 PM, and the City Council will hold a public hearing on Monday, June 19, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Angelica Guevara
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, June 19, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2023-027: SUP for Residential Infill

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

[Empty form area for comments]

Name: [Input field]
Address: [Input field]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



DESIGN DEVELOPMENT
SERVICES
PLANO, TX 75002
PH. (214) 929-5086

DO NOT SCALE DRAWINGS
CONTRACTOR TO VERIFY ALL
EXISTING CONDITIONS AND
DIMENSIONS - NOTIFY GENERAL
CONTRACTOR OF ANY
DISCREPANCIES PRIOR TO
BEGINNING CONSTRUCTION
24x36 PRINT

OWNER/CONTRACTOR

VANIO & DESI

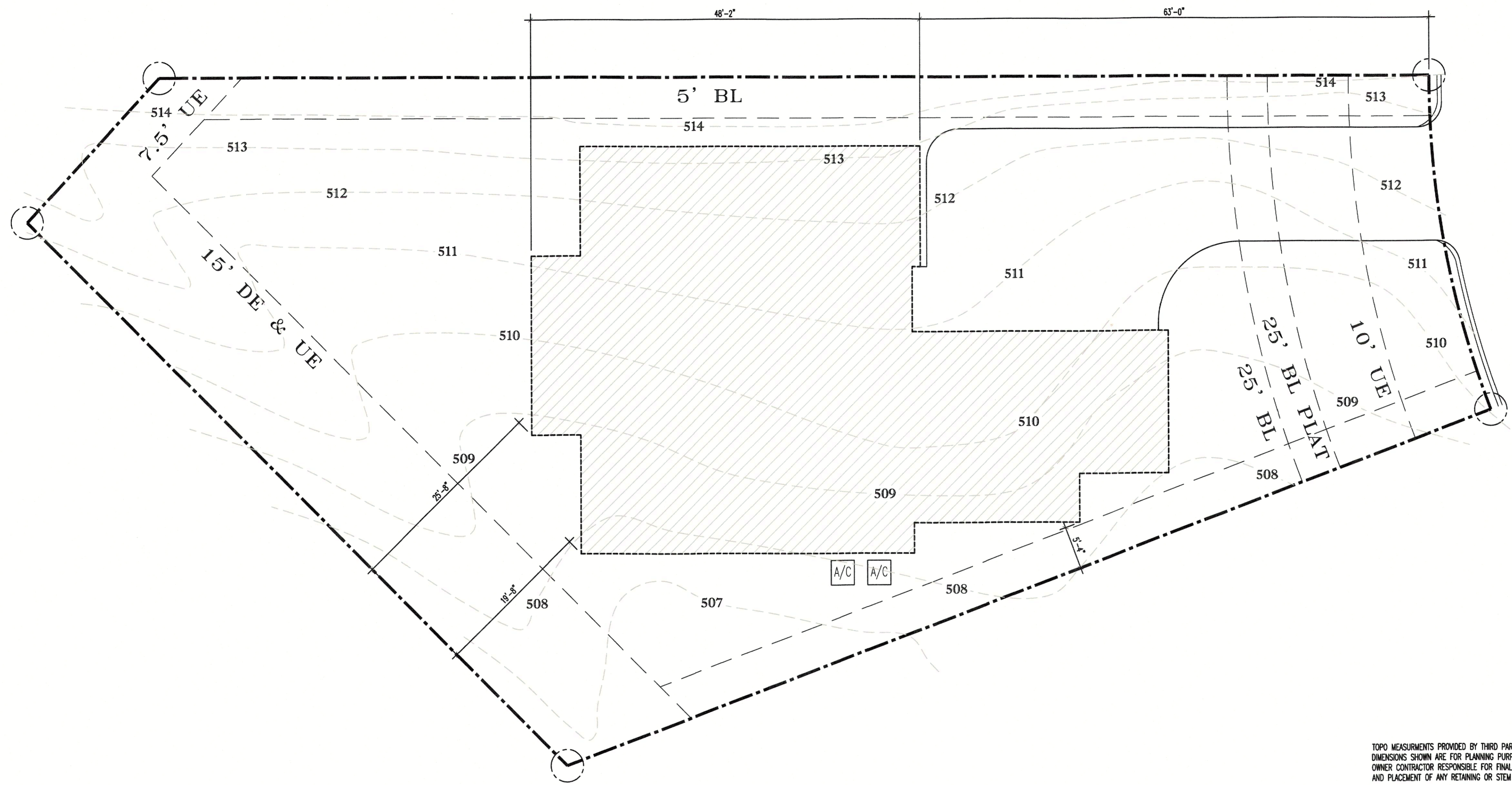
DILOV

2717 LAKEWOOD DR.

ROWLETT, TX 75088

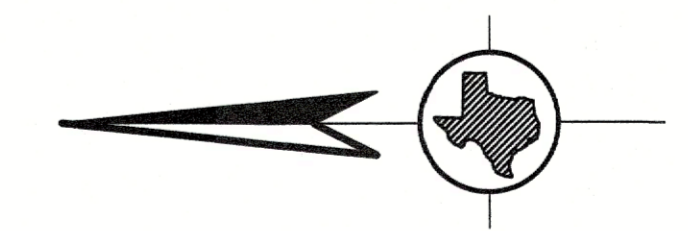
(972) 672-7777

LOT 16 BLK A CHANDLERS LAANDING PH 20
SPEC BUILD
110 MISCHIEF LANE
ROCKWALL, TX 75032
ROCKWALL COUNTY



110
MISCHIEF
LANE

TOPO MEASUREMENTS PROVIDED BY THIRD PARTY SURVEY
DIMENSIONS SHOWN ARE FOR PLANNING PURPOSES ONLY
OWNER CONTRACTOR RESPONSIBLE FOR FINAL FORM SURVEY
AND PLACEMENT OF ANY RETAINING OR STEM WALLS



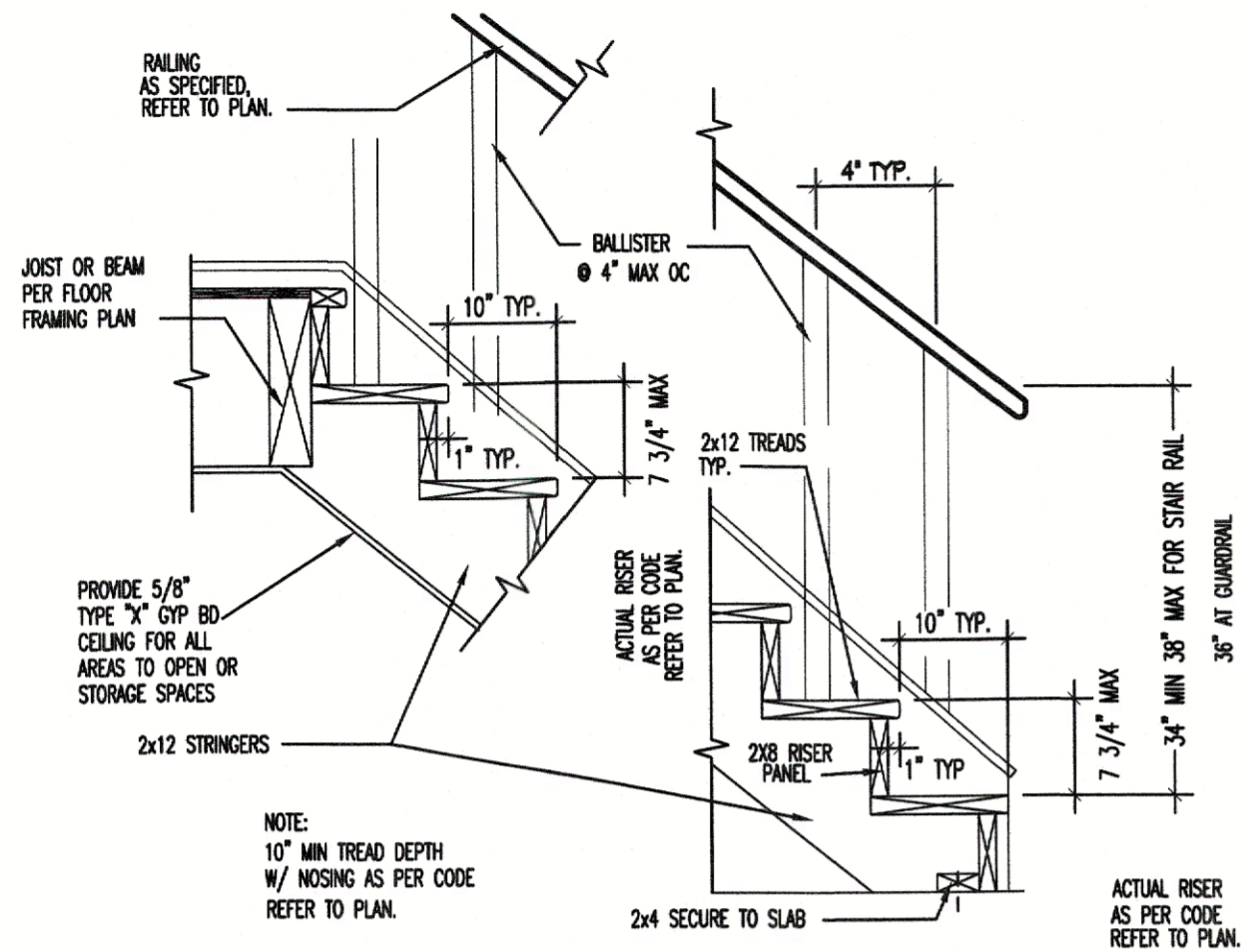
01 SLAB PROFILE ON SITE PLAN
SCALE: 1/8" = 1'-0"

NO REVISION

05-10-23

SHEET NUMBER

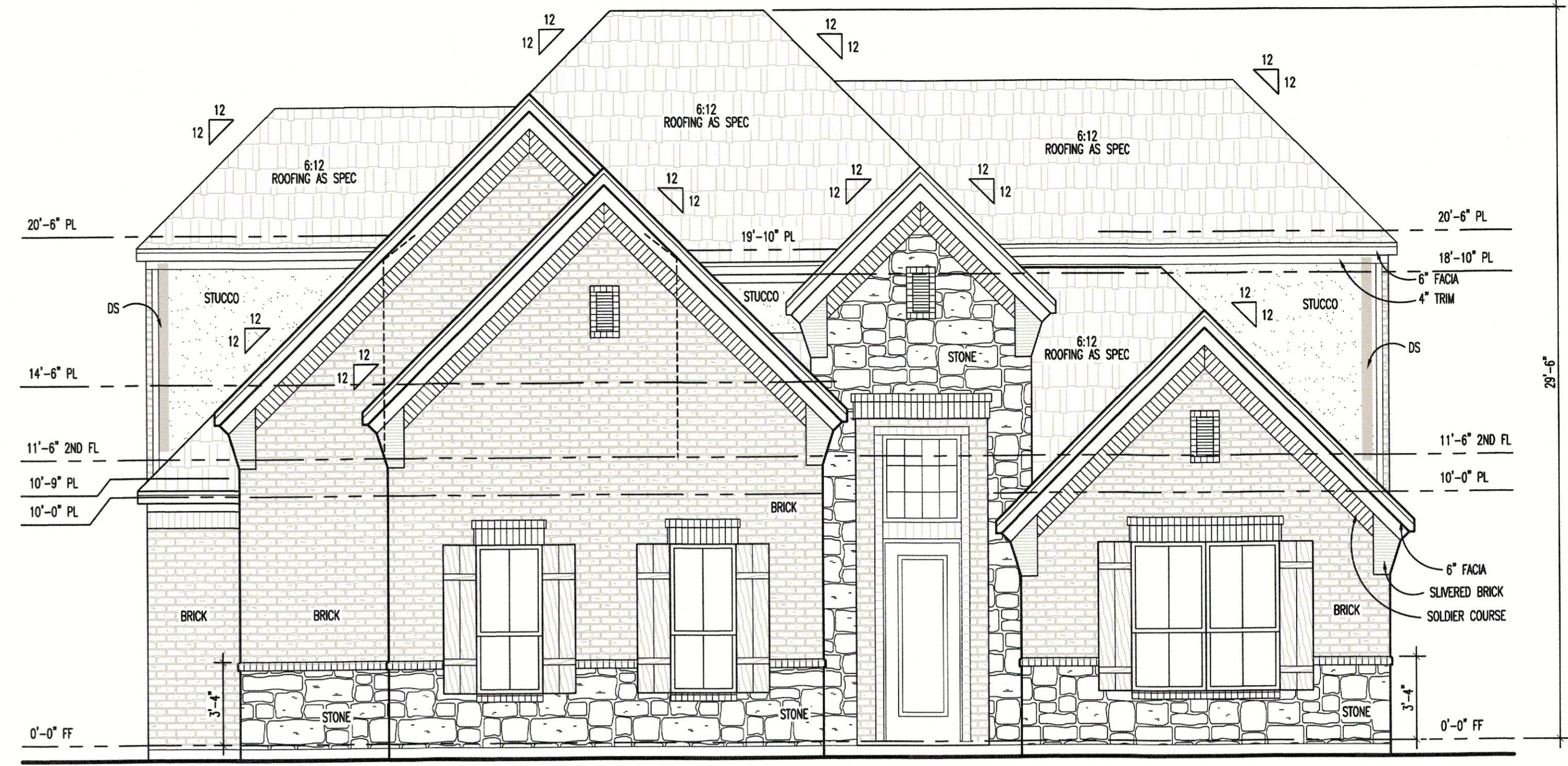
A0.5



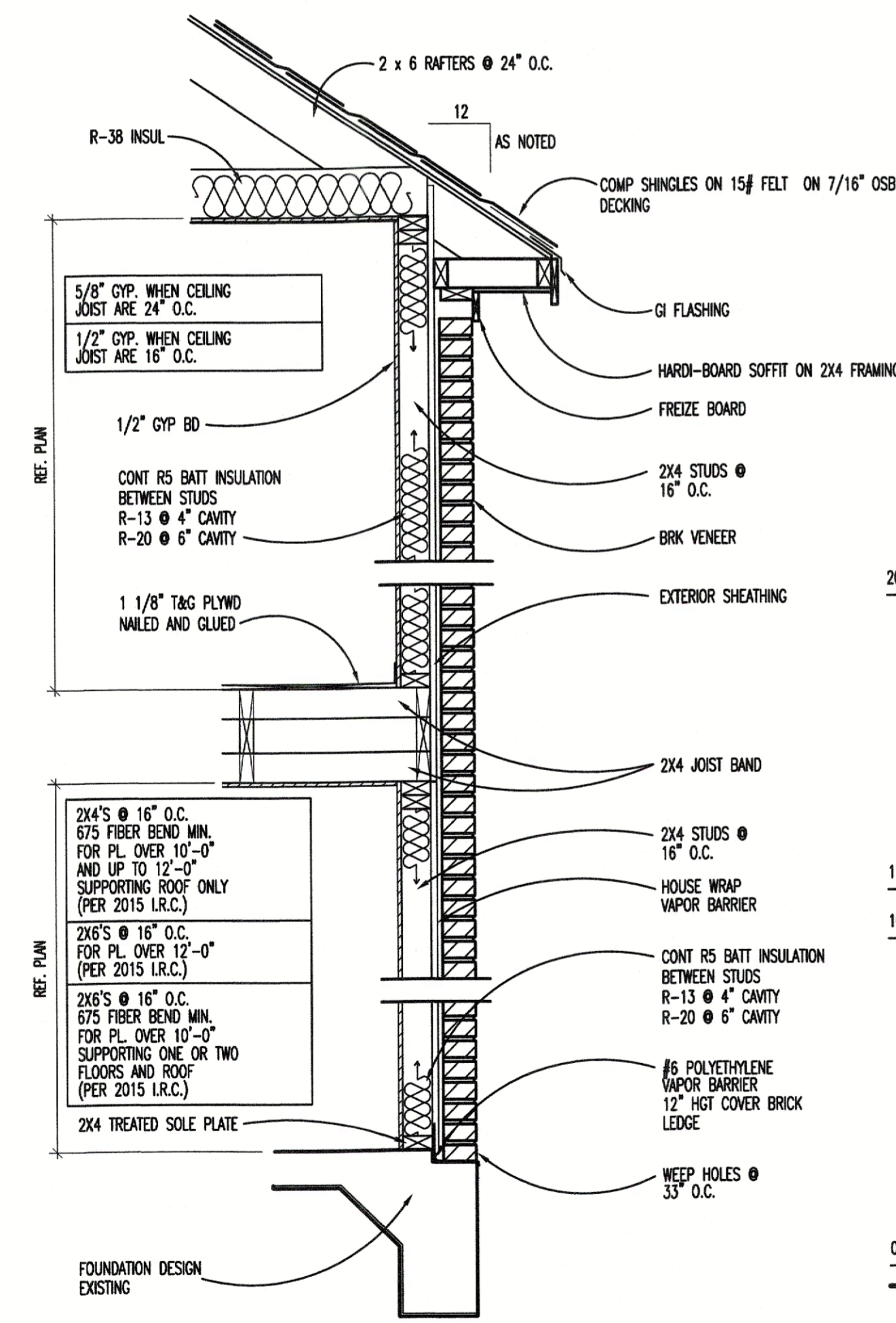
03 TYP STAIR SECTION
SCALE: 3/4"=1'-0"

EXTERIOR WALL INFO			
TOTAL EXT. WALL AREA	2,738	SF	
WDWS & DOORS	545	SF	
ACTUAL C'VD AREA	3,501	SF	
BRICK AREA	2,386	SF	87.1%
STONE AREA	210	SF	7.7%
STUCCO AREA	142	SF	5.2%

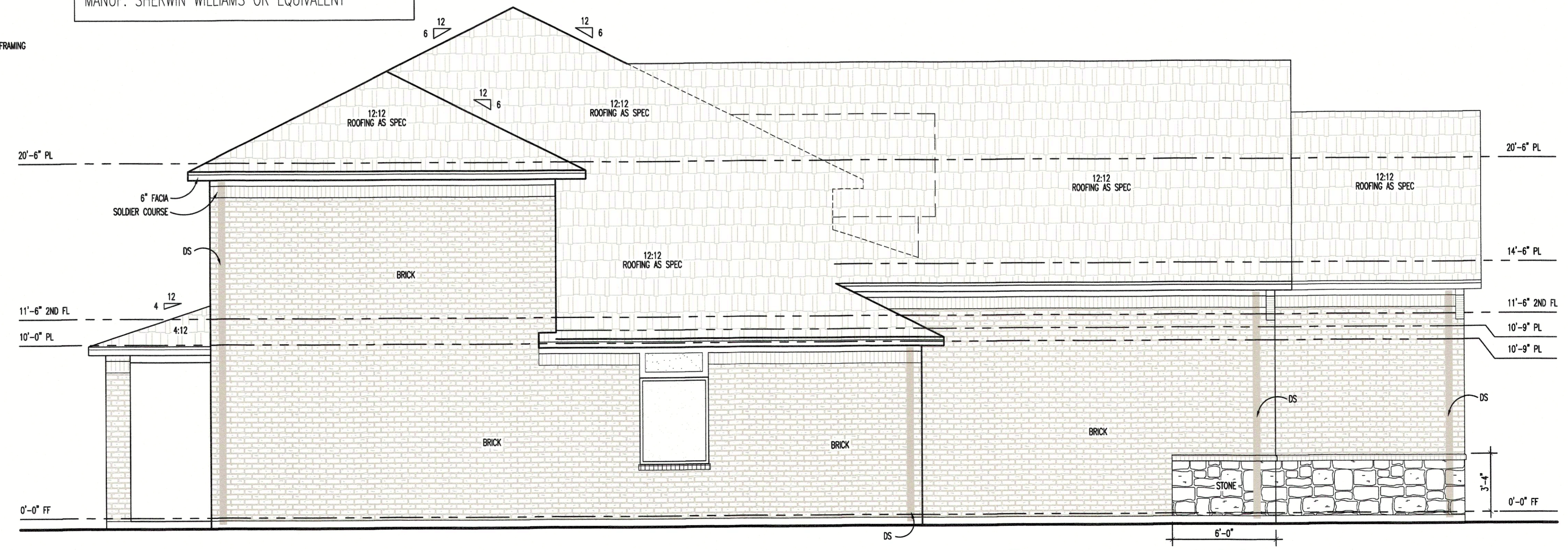
ROOFING MATERIALS	
30 YEAR DIMENSIONAL SHINGLE OVER 15# FELT	COLOR: DRIFTWOOD GAF OR EQUIVALENT
FACIA & SOFFIT	
1"X6" FACIA BOARD W/ 5/8"X12" HARDI SOFFIT	
PAINT	
COLOR: ADOBE	MANUF: SHERWIN WILLIAMS OR EQUIVALENT



01 FRONT ELEVATION
SCALE: 1/4"=1'-0"



04 TYP WALL DETAIL
SCALE: 3/4"=1'-0"



02 LEFT ELEVATION
SCALE: 1/4"=1'-0"

DESIGN DE
SERV
PLANO,
PH. (214)
DO NOT SC
CONTRACTOR
EXISTING CO
DIMENSIONS
CONTRACT
DISCREPANC
BEGINNING
24x36

OWNER/CO
VANIO
DII
2717 LAKE
ROWLET
(972) 6

SPEC BUILD
LOT 16 BLK A CHANDLERS LAANDING PH 20

NO REVISION
05-10

SHEET N
A2

EXTERIOR DOOR SCHEDULE ALL GLAZING TO BE DUAL PANE INSULATED LOW-E

ROOM	#	SIZE	DETAILS
FOYER	1	3080	WOOD ENTRY
NOOK	1	2880	FULL LITE METAL
MASTER	1	2880	FULL LITE METAL
GARAGE	1	16'x8'	METAL OHD
GARAGE	1	8'x8'	METAL OHD

WINDOW SCHEDULE ALL GLAZING TO BE DUAL PANE INSULATED LOW-E

ROOM	#	SIZE	DETAILS
FOYER	1	3236	FX @ 12'-4" HH
DINING	2	3060	SH @ 8'-0" HH
NOOK	3	3060	SH @ 8'-0" HH
LIVING	4	3060	SH @ 8'-0" HH
MASTER BDRM	3	3060	SH @ 8'-0" HH
MASTER BATH	1	4050	FX @ 8'-0" HH OBSCURED
BDRM #2	3	3060	SH @ 8'-0" HH
GAME ROOM	3	3060	SH @ 8'-0" HH
BDRM #3	2	3060	SH @ 8'-0" HH
BDRM #4	1	3060	SH @ 8'-0" HH

INTERIOR DOOR SCHEDULE

ROOM	#	SIZE	DETAILS
GARAGE	1	2880	20 MIN RATED W/ CLOSER HINGES
CLOSET & STOR	2	2080	INTERIOR MASONITE HC
PAN	1	2080	INTERIOR MASONITE HC
UTIL	1	2880	INTERIOR MASONITE HC
POWDER	1	2080	INTERIOR MASONITE HC
MASTER BDRM	1	2880	INTERIOR MASONITE HC
MASTER BATH	1	PR 1380	INTERIOR MASONITE HC
	1	2080	INTERIOR MASONITE HC
	1	2680	INTERIOR MASONITE HC
BDRM #2	1	2868	INTERIOR MASONITE HC
BDRM #3	1	2868	INTERIOR MASONITE HC
BDRM #4	1	2868	INTERIOR MASONITE HC
BATH #2	2	2068	INTERIOR MASONITE HC
BATH #3	2	2068	INTERIOR MASONITE HC
BATH #4	1	2068	INTERIOR MASONITE HC
STORAGE CLOSET	1	2868	INTERIOR MASONITE HC
BDRM CLOSETS	3	2068	INTERIOR MASONITE HC

EXTERIOR WALL INFO

TOTAL EXT. WALL AREA	2,738	SF	
WDWS & DOORS	545	SF	
ACTUAL C'VD AREA	3,501	SF	
BRICK AREA	2,386	SF	87.1%
STONE AREA	210	SF	7.7%
STUCCO AREA	142	SF	5.2%

ROOFING MATERIALS

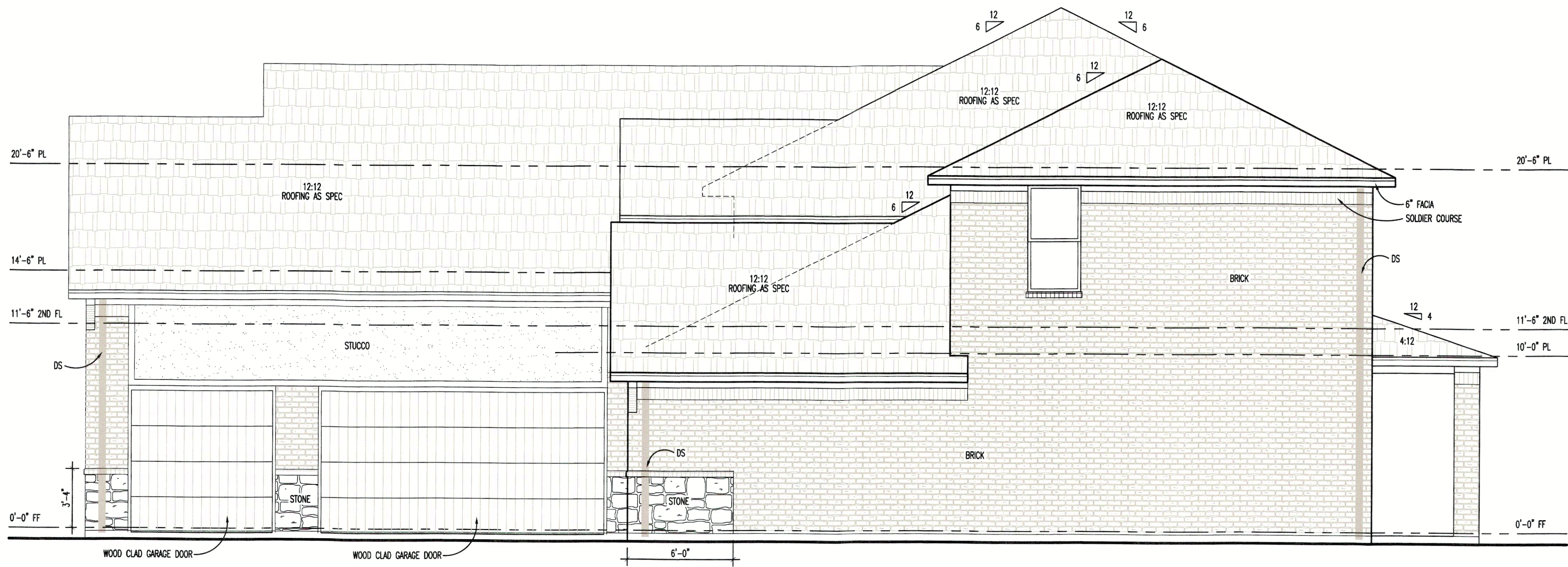
30 YEAR DIMENSIONAL SHINGLE OVER 15# FELT
COLOR: DRIFTWOOD GAF OR EQUIVALENT

FACIA & SOFFIT

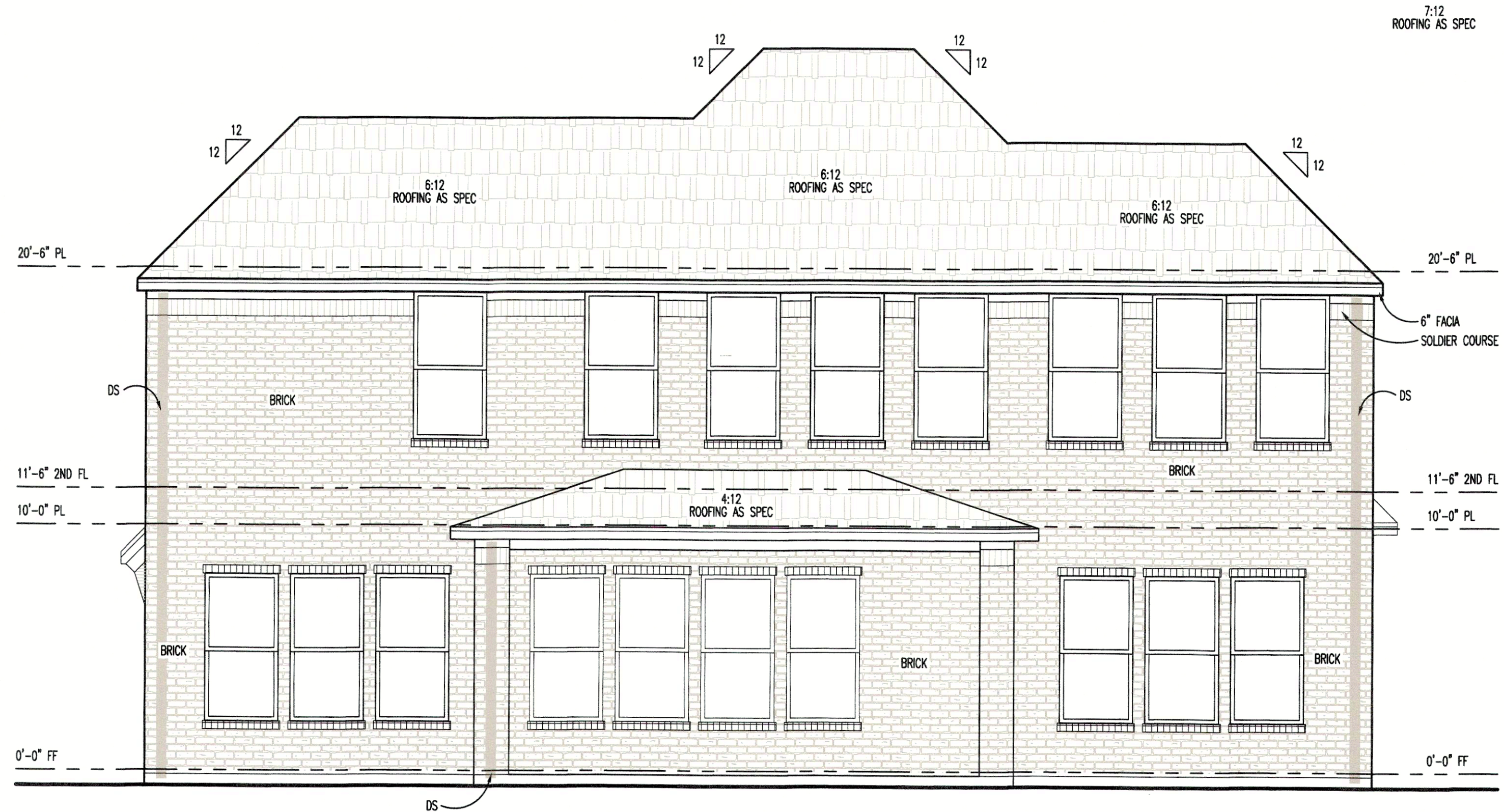
1"x6" FACIA BOARD W/
5/8"x12" HARDI SOFFIT

PAINT

COLOR: ADOBE
MANUF: SHERWIN WILLIAMS OR EQUIVALENT



01 LEFT ELEVATION
SCALE: 1/4"=1'-0"



02 REAR ELEVATION
SCALE: 1/4"=1'-0"



DESIGN DEVELOPMENT
SERVICES
PLANO, TX 75002
PH. (214) 929-5086

DO NOT SCALE DRAWINGS
CONTRACTOR TO VERIFY ALL
EXISTING CONDITIONS AND
DIMENSIONS-NOTIFY GENERAL
CONTRACTOR OF ANY
DISCREPANCIES PRIOR TO
BEGINNING CONSTRUCTION
24x36 PRINT

OWNER/CONTRACTOR
**VANIO & DE
DILOV**
2717 LAKEWOOD I
ROWLETT, TX 750
(972) 672-7777

SPEC BUILD
LOT 16 BLK A CHANDLERS LAANDING PH 20
110 MISCHIEF LANE
ROCKWALL, TX 75032

NO REVISION
05-10-23

SHEET NUMBER
A3



DESIGN DEVELOPMENT
 CONTRACTOR TO VERIFY /
 EXISTING CONDITIONS AND
 DIMENSIONS - NOTIFY OWNER
 CONTRACTOR OF ANY
 DISCREPANCIES PRIOR TO
 BEGINNING CONSTRUCTION
 24x36 PRINT

OWNER/CONTRACTOR
VANIO & DILOV
 2717 LAKEWOOD
 ROWLETT, TX
 (972) 672-7777

SPEC BUILD
LOT 16 BLK A CHANDLERS LAANDING PH 20
110 MISCHIEF LANE
 ROCKWALL, TX 75087

NO REVISION

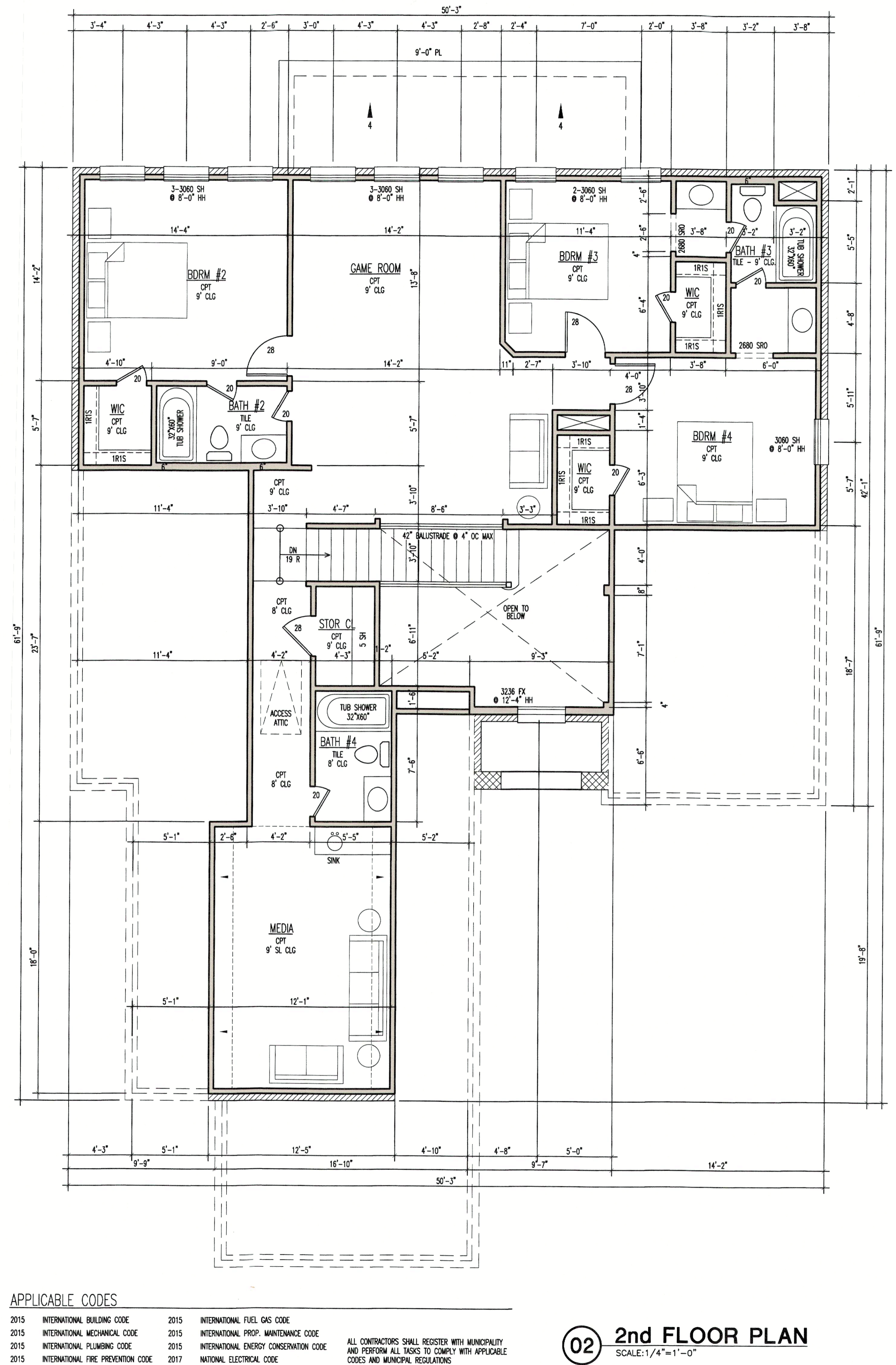
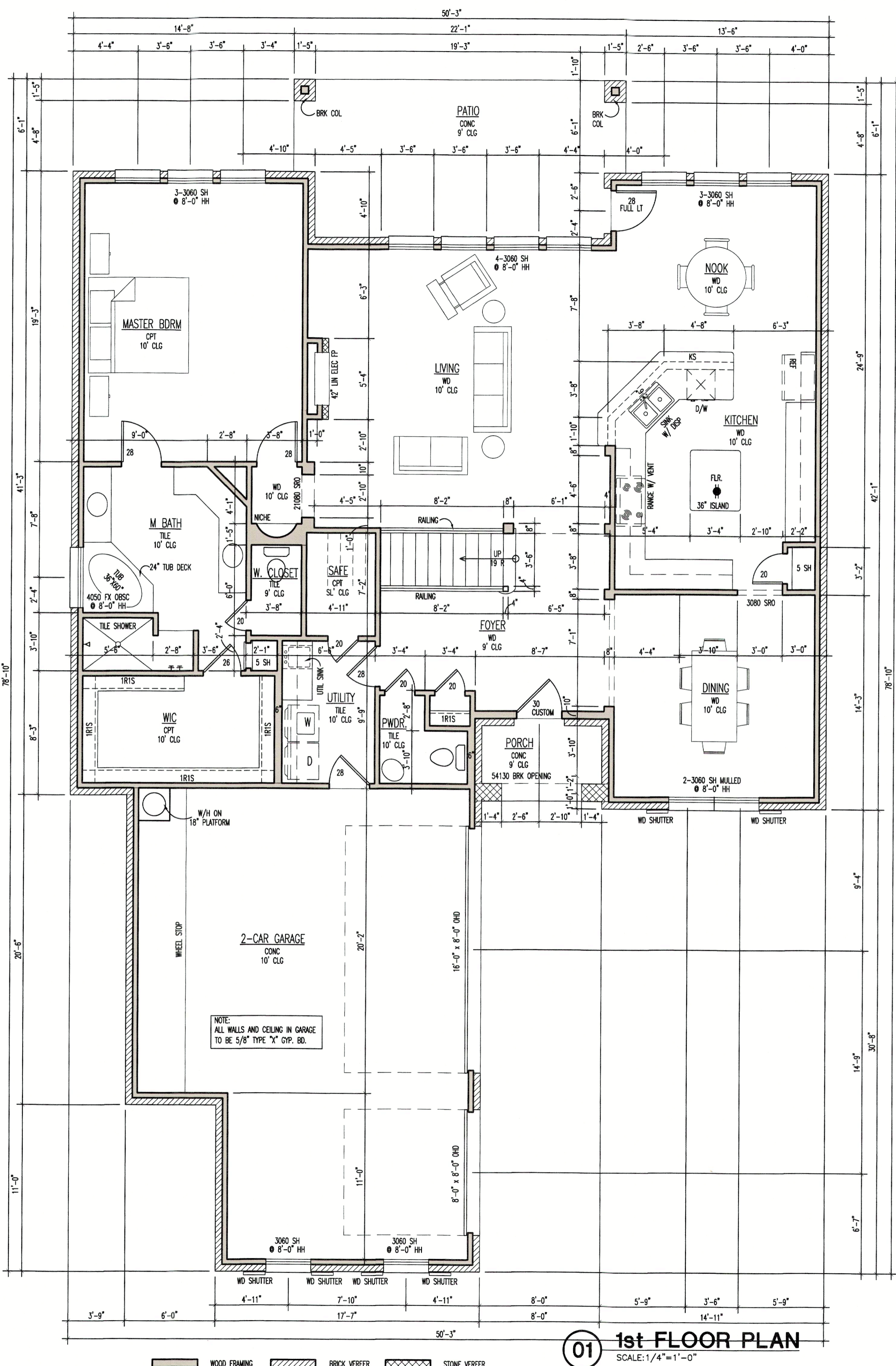
05-10-2

FIRST FLOOR A/C 1.5
 SECOND FLOOR A/C 1.5
 TOTAL A/C 3.0

FRONT C'VD PORCH 36
 REAR C'VD PATIO 21
 3-CAR GARAGE 66
 TOTAL UNDER ROOF 123

SHEET NUMBER

A1



APPLICABLE CODES

2015 INTERNATIONAL BUILDING CODE	2015 INTERNATIONAL FUEL GAS CODE	ALL CONTRACTORS SHALL REGISTER WITH MUNICIPALITY AND PERFORM ALL TASKS TO COMPLY WITH APPLICABLE CODES AND MUNICIPAL REGULATIONS
2015 INTERNATIONAL MECHANICAL CODE	2015 INTERNATIONAL PROP. MAINTENANCE CODE	
2015 INTERNATIONAL PLUMBING CODE	2015 INTERNATIONAL ELECTRICAL CONSERVATION CODE	
2015 INTERNATIONAL FIRE PREVENTION CODE	2017 NATIONAL ELECTRICAL CODE	



DESIGN DEVELOPMENT
SERVICES
PLANO, TX 75072
PH. (214) 924-6636

DO NOT SCALE DRAWING
CONTRACTOR TO VERIFY ALL
DIMENSIONS AND
LOCATIONS PRIOR TO
BEGINNING CONSTRUCTION
THIS PLAN

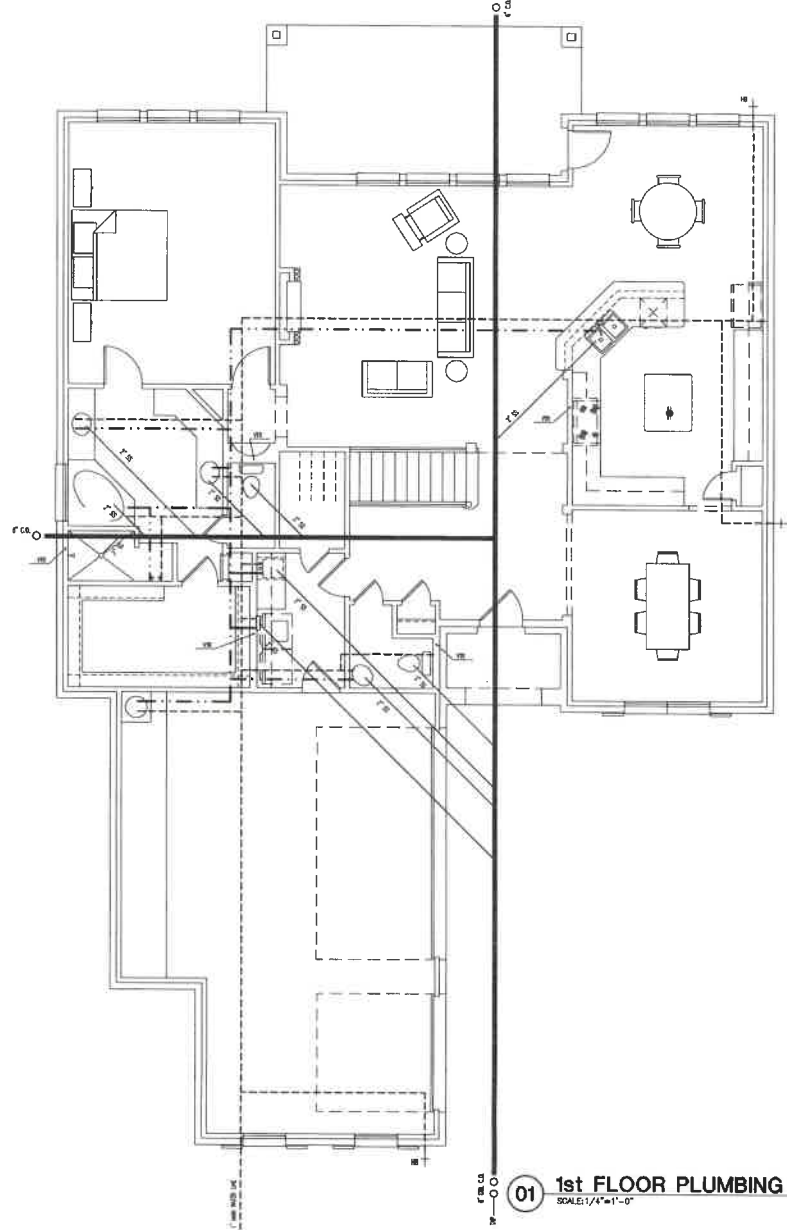
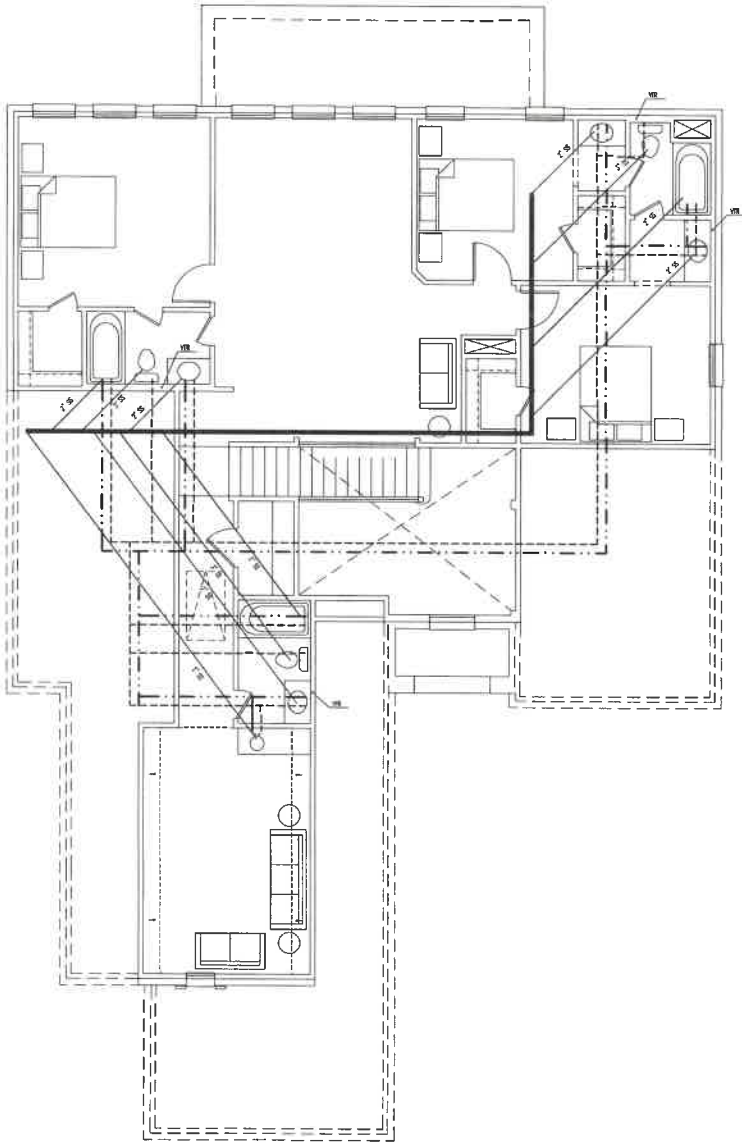
OWNER/CONTRACTOR
**VANIO & DESI
DILOV**
2717 LAKEWOOD DR.
ROWLETT, TX 75088
(972) 672-7777

SPEC BUILD
LOT 16 BLK A CHANDLERS LAANDING PH 20
110 MISCHIEF LANE
ROCKWALL, TX 75032
ROCKWALL COUNTY

NO. REVISION
05-10-23

SHEET NUMBER

A7



CITY OF ROCKWALL

ORDINANCE NO. 23-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 8 (PD-8) AND THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.2250-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 16, BLOCK A, OF THE CHANDLER'S LANDING PHASE 20 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Vanio Dilov for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.2250-acre parcel of land identified as Lot 16, Block A, of the Chandler's Landing Phase 20 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family residential land uses, addressed as 110 Mischief Lane, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that Planned Development District 8 (PD-8) and the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That Planned Development District 8 (PD-8) and the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Planned Development District 8 (PD-8) and Subsection 03.01, *General Residential District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'A'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'B'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 17th DAY OF JULY, 2023.**

Trace Johannesen, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: June 19, 2023

2nd Reading: July 17, 2023

Exhibit 'A':
Location Map and Residential Plot Plan

Address: 110 Mischief Lane

Legal Description: Lot 16, Block A, Chandler's Landing Phase 20 Addition

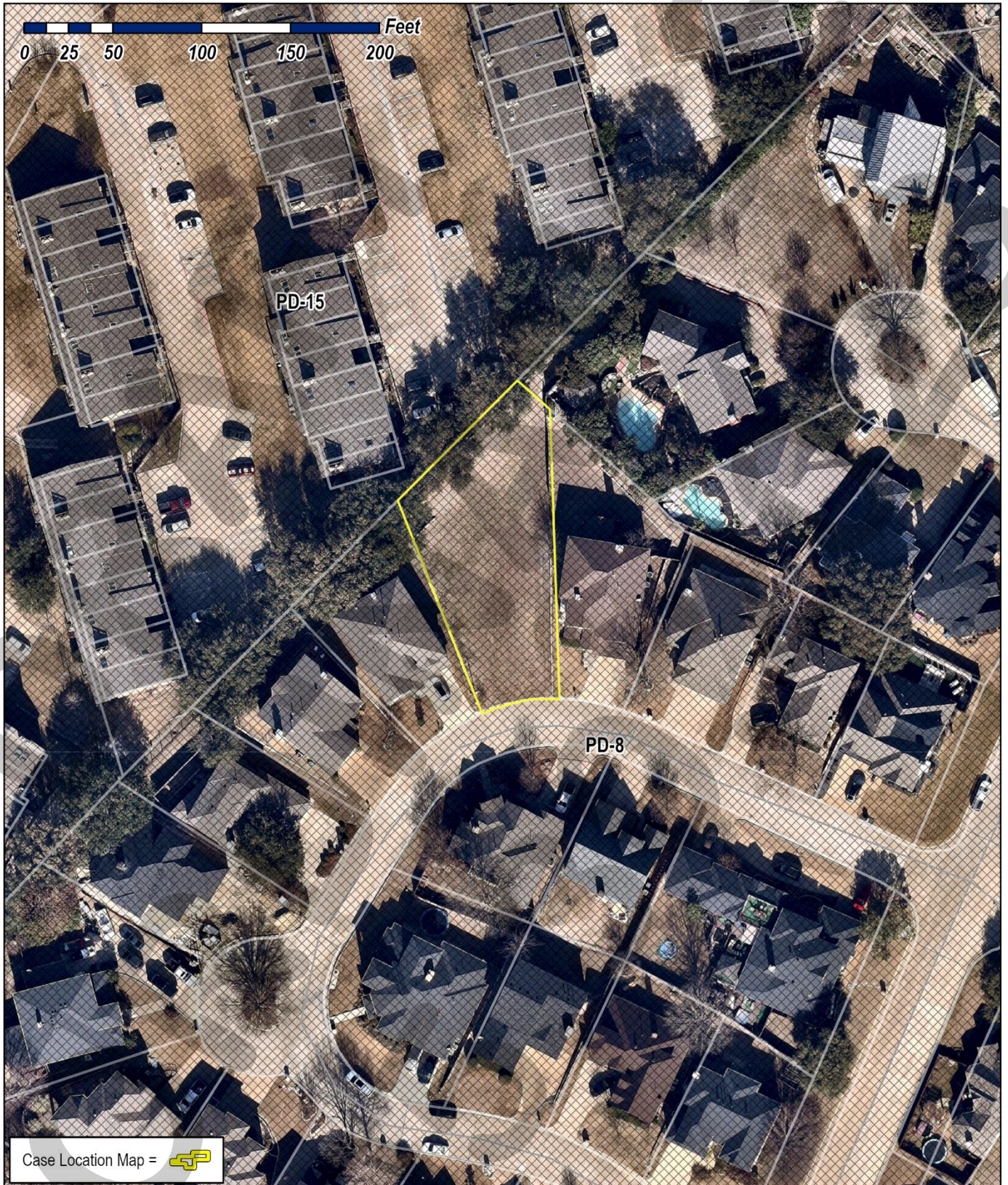
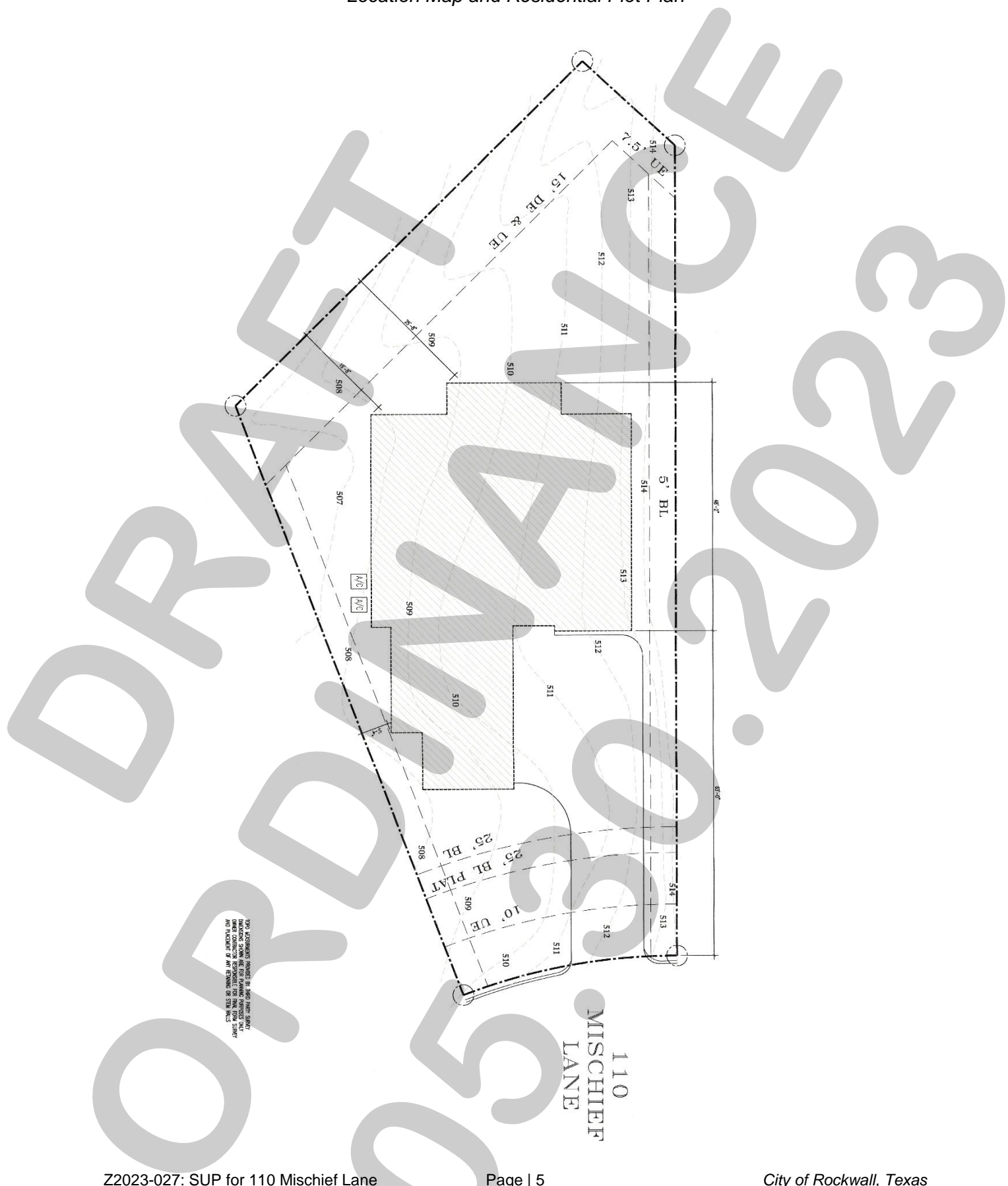


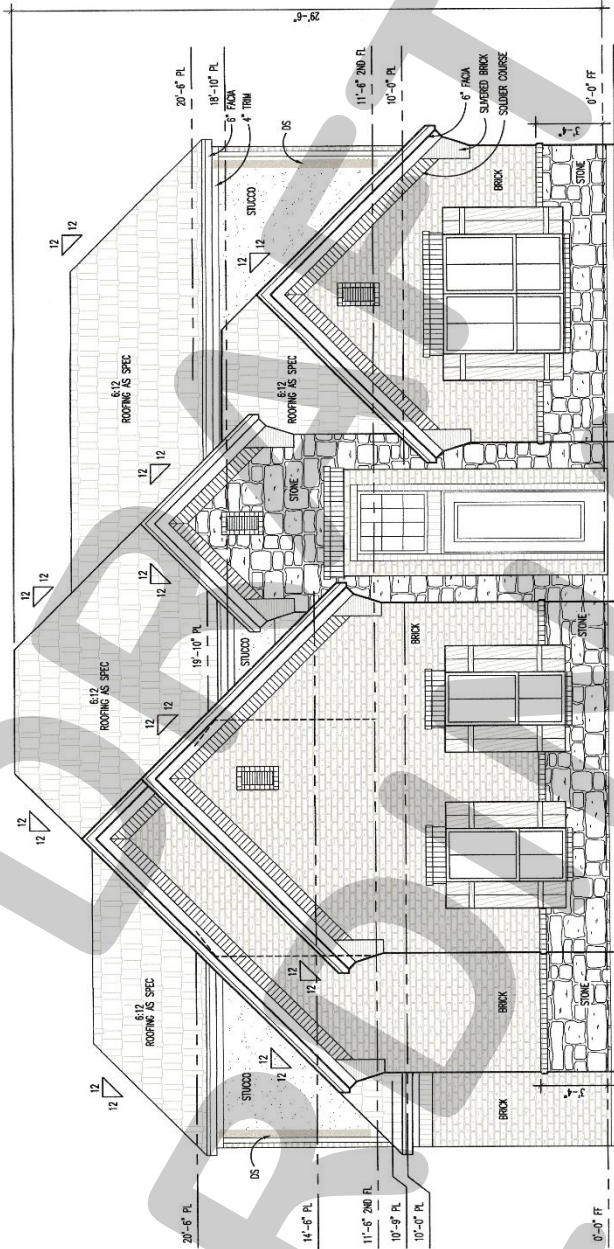
Exhibit 'A':
Location Map and Residential Plot Plan



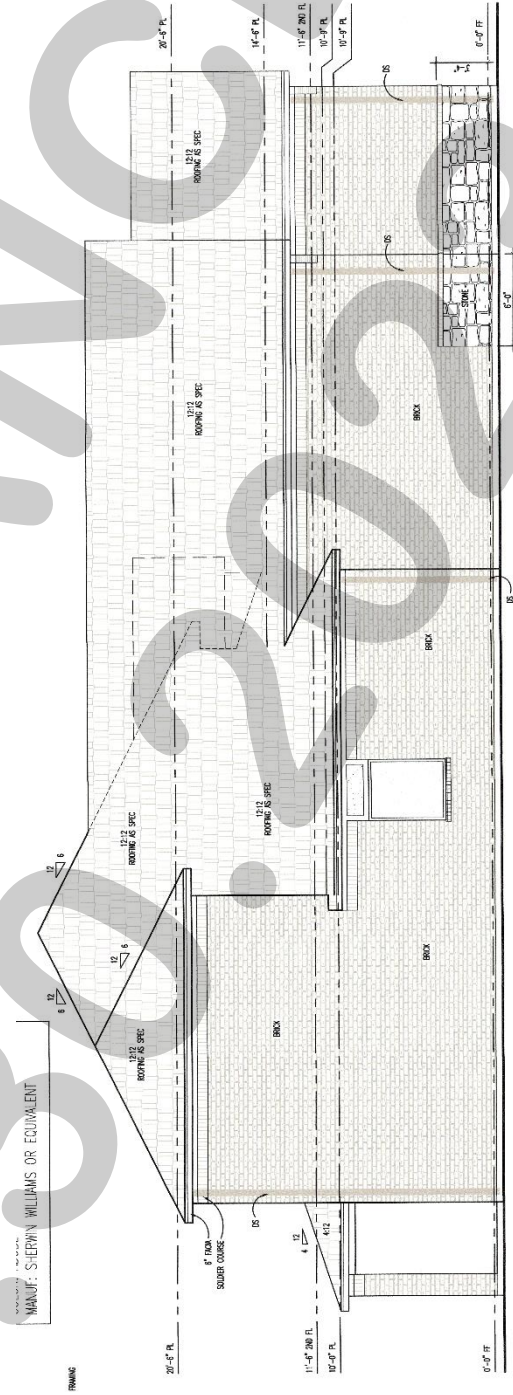
THIS DOCUMENT PREPARED BY LAND PARTNERS GROUP, INC. IS THE PROPERTY OF LAND PARTNERS GROUP, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF LAND PARTNERS GROUP, INC.

110
**MISCHIEF
 LANE**

Exhibit 'B':
Building Elevations

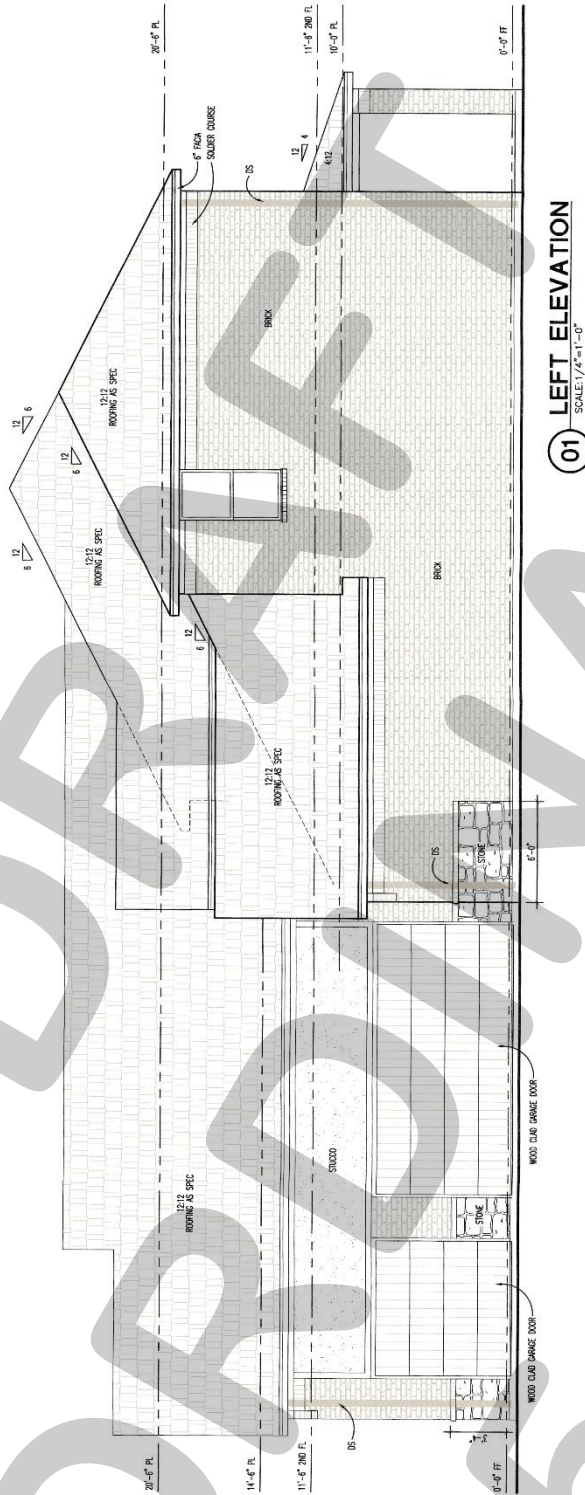


01 FRONT ELEVATION
SCALE: 1/4" = 1'-0"

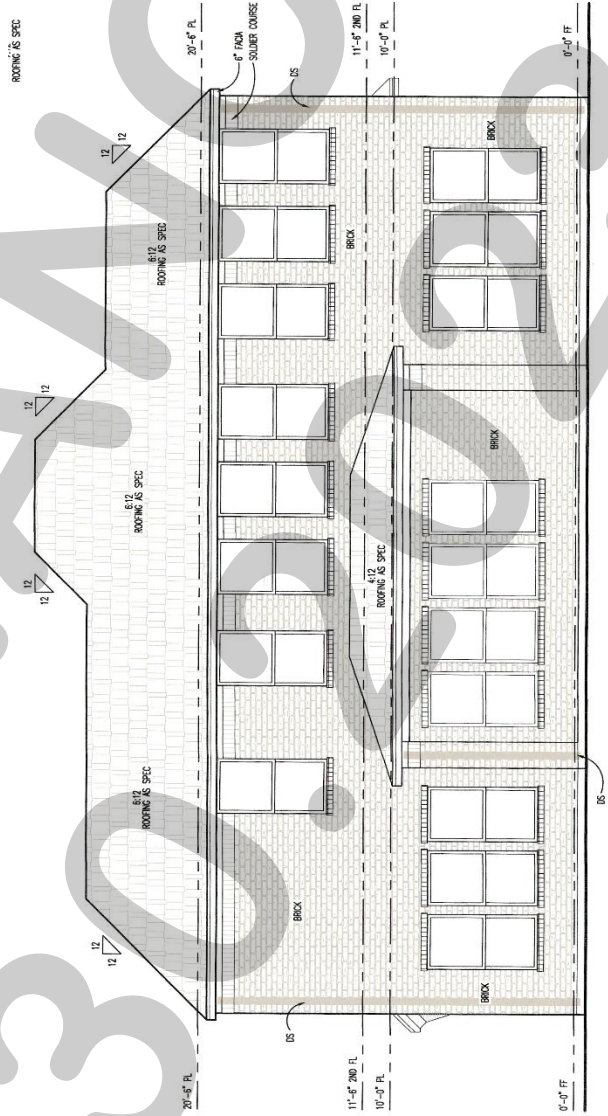


02 LEFT ELEVATION
SCALE: 1/8" = 1'-0"

Exhibit 'B':
Building Elevations



01 LEFT ELEVATION
SCALE: 1/4"=1'-0"



02 REAR ELEVATION
SCALE: 1/4"=1'-0"

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 5/25/2023

PROJECT NUMBER: Z2023-028
PROJECT NAME: Residential Infill at 481 Blanche Drive
SITE ADDRESS/LOCATIONS: 481 Blanche Drive

CASE CAPTION: Hold a public hearing to discuss and consider a request by Alex Flores for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.1650-acre parcel of land identified as Lot 873-A, Rockwall Lake Estates Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 481 Blanche Drive, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Angelica Guevara	05/25/2023	Approved w/ Comments

05/25/2023: Z2023-028; Specific Use Permit (SUP) for Residential Infill for 481 Blanche Drive
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This request is for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.1650-acre parcel of land identified as Lot 873-A, Rockwall Lake Estates Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 481 Blanche Drive.
- I.2 For questions or comments concerning this case please contact Angelica Guevara in the Planning Department at (972) 772-6438 or email aguevara@rockwall.com.
- M.3 For reference, include the case number (Z2023-028) in the lower right-hand corner of all pages on future submittals.
- I.4 According to Subsection 02.03(B) (11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), an Established Subdivision is defined as any subdivision that [1] consists of five (5) or more lots, [2] that is 90% or more developed, and [3] that has been in existence for more than ten (10) years. In this case, the subject property is located within the Lake Rockwall Estates Subdivision, which is 90% or more developed, consists of five (5) or more lots, and has been in existence for more than 10 years.
- I.5 Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), states that "(i)n reviewing the Specific Use Permit (SUP), the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing in the Established Subdivision ... [and] all housing proposed under this section shall be constructed to be architecturally and visually similar or complimentary to the existing housing in the Established Subdivision."
- I.6 According to Subsection 04.01(B), Lots Less Than Five Acres, of Article 06, Parking and Loading, garages located in single family districts must be located 20-feet behind the front façade of the building. In the current request, the garage is setback approximately one (1) from the front façade of the home. While this is not uncharacteristic of the surrounding area, this will be a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.
- M.7 Please review the attached Draft Ordinance prior to the May 30, 2023 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than June 7, 2023.
- I.8 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on June 7, 2023; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the June 13, 2023 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on May 30, 2023.
- I.9 The projected City Council meeting dates for this case will be June 19, 2023 [1st Reading] and July 17, 2023 [2nd Reading].

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	05/25/2023	Needs Review

05/25/2023: - Driveway culvert to be engineered. Min City requirement is 18" RCP with concrete headwalls.
- 10' Utility easement at the back of lot. Fences are not allowed within easement.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	05/22/2023	Needs Review

05/23/2023: 1. Hallway cased opening between garage and kitchen must be a minimum of 3 feet wide.

2. Front facade doesn't meet the masonry requirement below.

Exterior Materials. Buildings 120-SF of greater and over ten (10) feet in height shall have exterior walls constructed of a minimum of 80% standard masonry construction, excluding windows and doors. In the event that an exterior wall is on a porch, patio, courtyard, or breezeway the wall may be of non-masonry construction. Hardie-Board or similar cementitious material may be used on up to 50% of the total masonry requirement. A building with less than 80% standard masonry construction or which utilizes an excess of 50% cementitious material shall require approval by the City Council in accordance with Section 3.C, Consideration of a Special Request, of this Ordinance.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	05/23/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	05/23/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	05/19/2023	Approved

No Comments

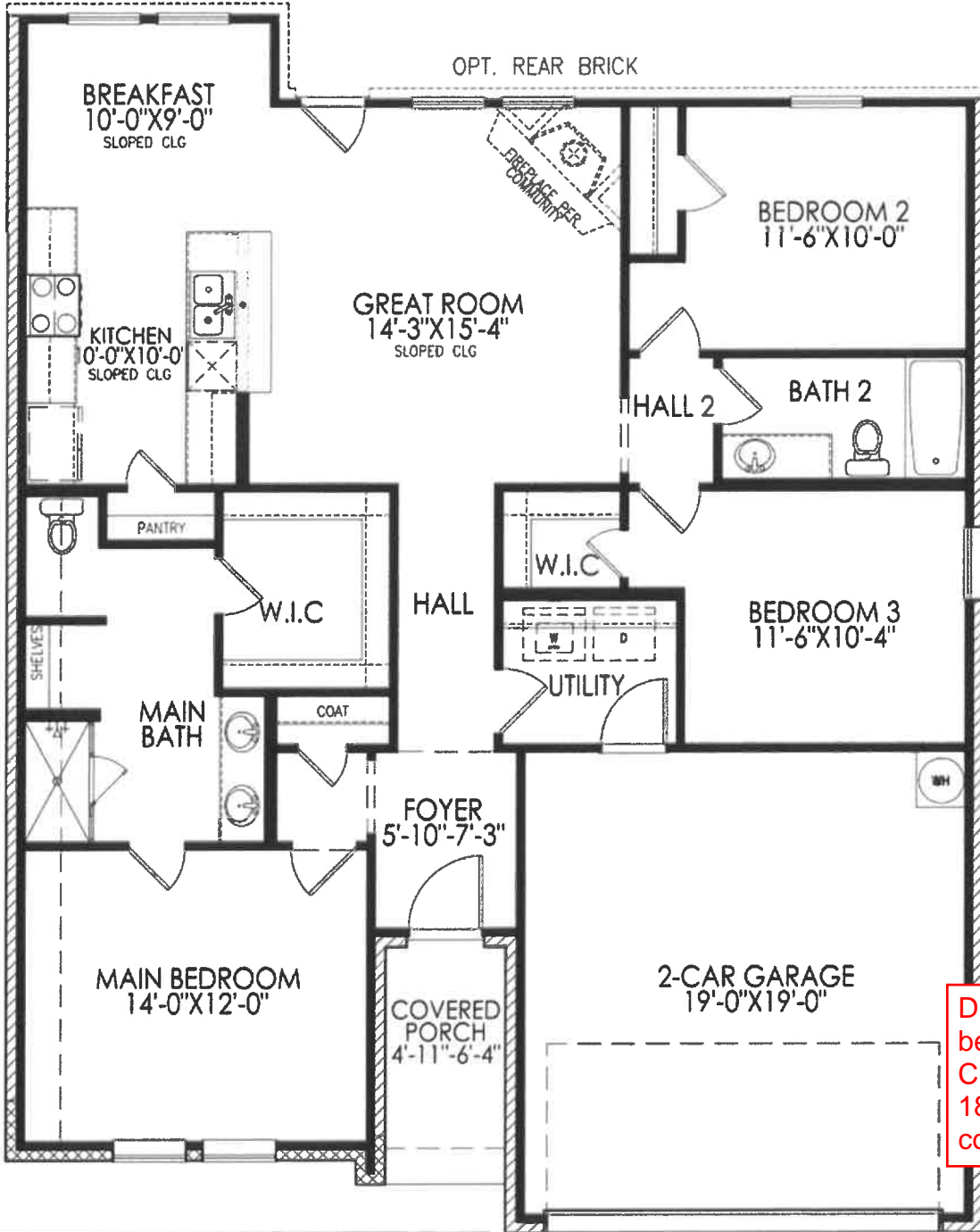
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	05/22/2023	Approved

No Comments

39'-11"

10' Utility easement at the back of lot. Fences are not allowed within easement.

49'-11"



Driveway culvert to be engineered. Min City requirement is 18" RCP with concrete headwalls.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

22023-028

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS

481 BLANCHE DR.

SUBDIVISION

ROCKWALL LAKE EST #2

LOT

873-A

BLOCK

GENERAL LOCATION

COUNTY ROAD ? HORIZON RD

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

CURRENT USE

PROPOSED ZONING

PROPOSED USE

ACREAGE

LOTS [CURRENT]

LOTS [PROPOSED]

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER

JOSE LUIS DIAZ

APPLICANT

ALEX FLORES

CONTACT PERSON

CONTACT PERSON

ALEX FLORES

ADDRESS

ADDRESS

466 RENEE DR

CITY, STATE & ZIP

CITY, STATE & ZIP

ROCKWALL, TX 75032

PHONE

PHONE

(469) 534-5809

E-MAIL

E-MAIL

afchomes75@gmail.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Alexandro Flores [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 19th DAY OF MAY, 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

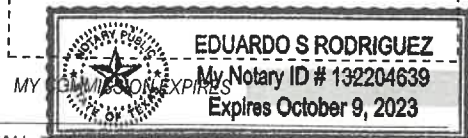
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 19th DAY OF MAY, 2023

OWNER'S SIGNATURE

[Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

[Signature]



0 15 30 60 90 120 Feet

Z2023-028: Specific Use Permit for Residential Infill at 481 Blanche Drive

BLANCHE DR

PD-75

Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

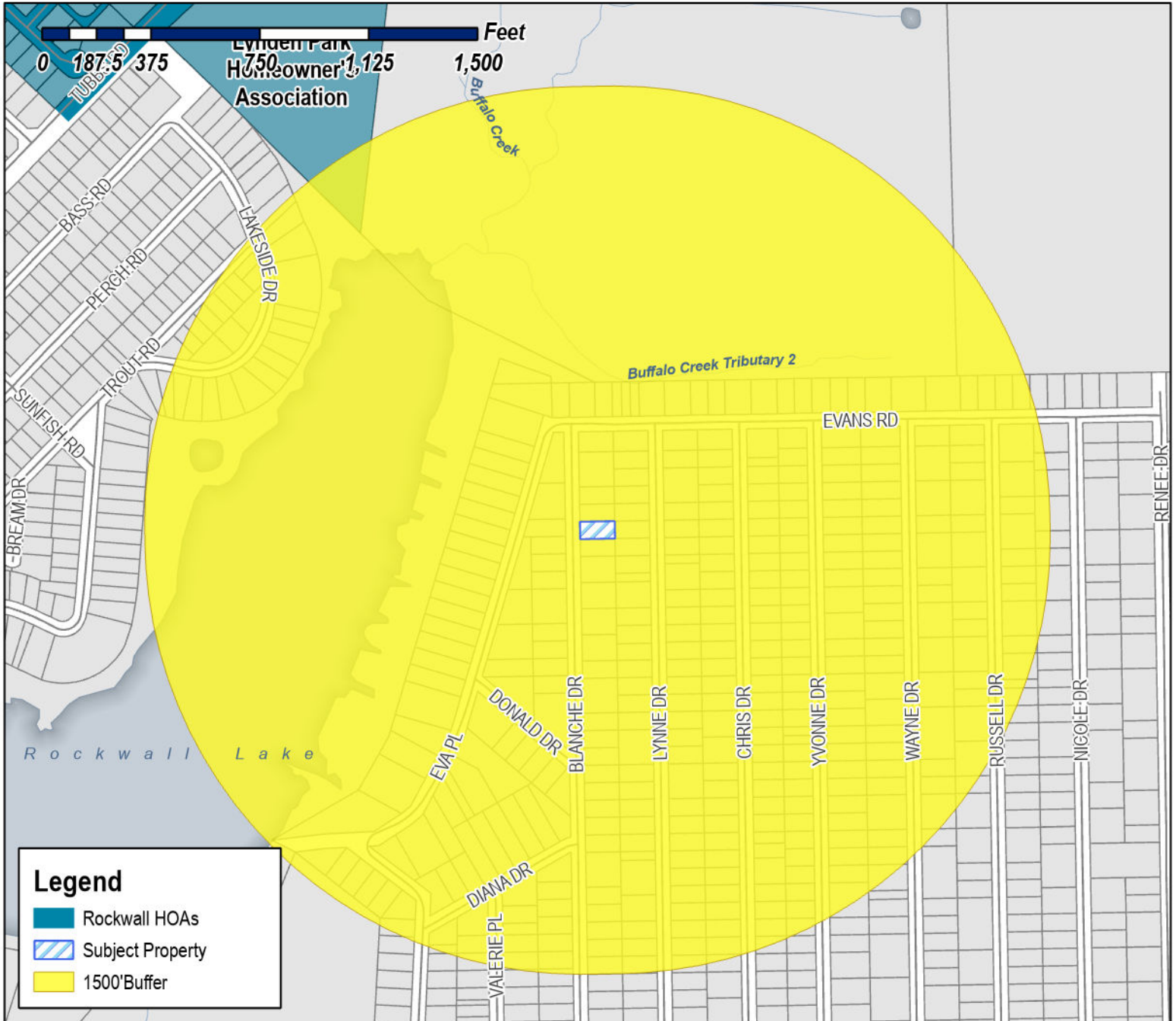




City of Rockwall

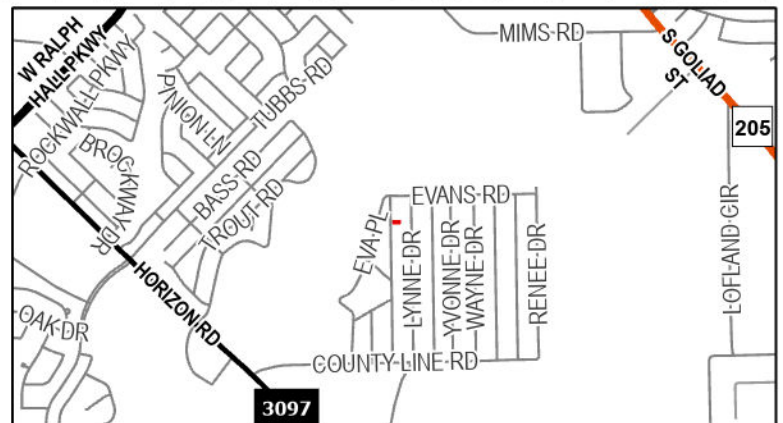
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2023-028
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 75 (PD-75)
Case Address: 481 Blanche Drive

Date Saved: 5/23/2023
 For Questions on this Case Call (972) 771-7745



Guevara, Angelica

From: Zavala, Melanie
Sent: Tuesday, May 23, 2023 3:19 PM
Cc: Miller, Ryan; Ross, Bethany; Lee, Henry; Guevara, Angelica
Subject: Neighborhood Notification Program [Z2023-028]
Attachments: Public Notice (05.23.2023).pdf; HOA Map (05.23.2023).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *May 26, 2023*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, June 13, 2023 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, June 19, 2023 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2023-028: SUP for Residential Infill at 481 Blanche Drive

Hold a public hearing to discuss and consider a request by Alex Flores for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.1650-acre parcel of land identified as Lot 873-A, Rockwall Lake Estates Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 481 Blanche Drive, and take any action necessary.

Thank You,

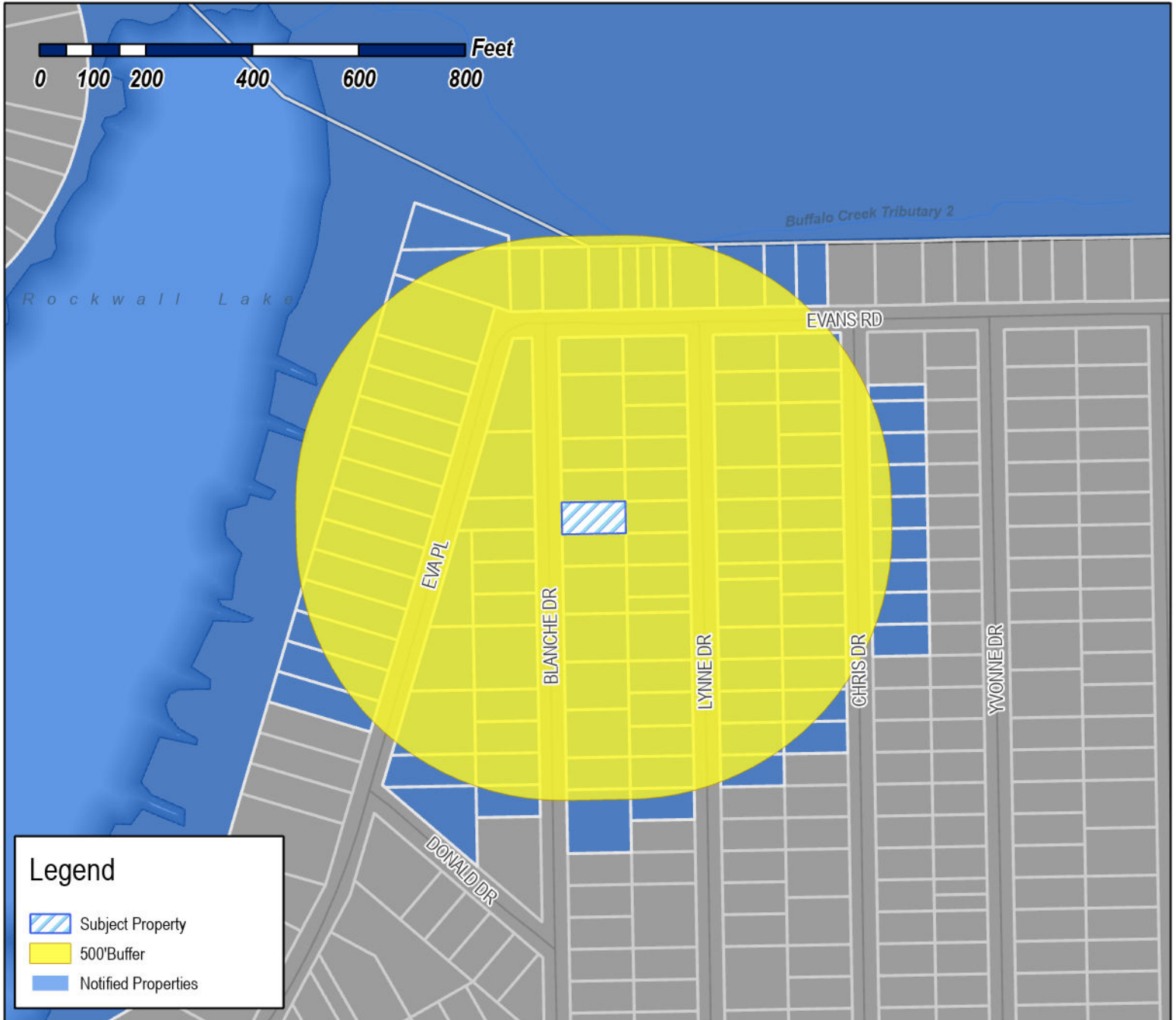
Melanie Zavala
Planning Coordinator
City of Rockwall Planning & Zoning
385 S. Goliad Street
Rockwall, TX 75087
Office: 972-771-7745
Direct: 972-771-6568



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2023-028
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 75 (PD-75)
Case Address: 481 Blanche Drive

Date Saved: 5/23/2023

For Questions on this Case Call: (972) 771-7746



PERDOMO WILFREDO
100 EVANS RD
ROCKWALL, TX 75032

THELWELL LINDA
1013 BLACKBERRY TRL
LANCASTER, TX 75134

SILVA BERTHA
1041 E FM 552
ROCKWALL, TX 75087

VICMAR I LTD &
E LOFLAND
105 KAUFMAN ST
ROCKWALL, TX 75087

PERALES OSCAR F AND DIANA A
106 EVANS RD
ROCKWALL, TX 75032

RESIDENT
114 EVANS RD
ROCKWALL, TX 75032

OLIVARES JAMES B & MARTINA
1209 QUAIL DR
GARLAND, TX 75040

FERNANDEZ URBANO ALVARADOO &
SON ARMADO FERNANDEZ
1235 VZ COUNTY ROAD 3425
WILLS POINT, TX 75169

RAMIREZ ZACARIAS
1244 COUNTY RD 2278
QUINLAN, TX 75474

RESIDENT
126 DONALD DR
ROCKWALL, TX 75032

RESIDENT
140 EVANS RD
ROCKWALL, TX 75032

RESIDENT
150 EVANS RD
ROCKWALL, TX 75032

CASTILLO ARTURO & VICTORIA
151 PERCH RD
ROCKWALL, TX 75032

RESIDENT
160 EVANS RD
ROCKWALL, TX 75032

RESIDENT
170 EVANS RD
ROCKWALL, TX 75032

THE LITTLE LAKE TRUST
TRUSTEE SHANA PORTER
17350 STATE HIGHWAY 249 STE 220 #3840
HOUSTON, TX 77064

HERREROS BERTOLDO
180 EVANS RD
ROCKWALL, TX 75032

HERREROS BERTOLDO
196 EVANS RD
ROCKWALL, TX 75032

ADAMS JAMES W
208 SUMMIT RIDGE DR
ROCKWALL, TX 75087

ADAMS JAMES & DEBBIE
208 SUMMIT RIDGE DR
ROCKWALL, TX 75087

ORELLANA JUAN C & MARICELA
220 CRAWFORD LN
ROYSE CITY, TX 75189

RODRIGUEZ ROMAN
220 EVANS RD
ROCKWALL, TX 75032

YANES MARIA TERESA
230 CHRIS DR
ROCKWALL, TX 75032

ROJAS MARCOS
234 EVANS RD
ROCKWALL, TX 75032

MORENO RICARDO
275 CHRIS DR
ROCKWALL, TX 75032

POWELL CONNIE S
304 CARISSA COURT
MESQUITE, TX 75150

SILVA JORGE & ELIZABETH
3078 S FM 551
ROYSE CITY, TX 75189

QUEVEDO LUIS & FELIZA
3326 BURNING TREE LN
GARLAND, TX 75042

RODRIGUEZ HERMAN & APRIL
373 BLANCHE DR
ROCKWALL, TX 75032

RAMIREZ RIGOBERTO AND
MARGARITA ESCOBAR
376 BLANCHE DR
ROCKWALL, TX 75032

RAMIREZ RIGOBERTO AND
MARGARITA ESCOBAR
376 BLANCHE DR
ROCKWALL, TX 75032

TONG HALEY AND HANH BUU TONG
3807 BENEVENTO CT
KATY, TX 77493

RESIDENT
384 LYNNE DR
ROCKWALL, TX 75032

CITY OF ROCKWALL
ATTN;MARY SMITH
385 S GOLIAD ST
ROCKWALL, TX 75087

CITY OF ROCKWALL
ATTN;MARY SMITH
385 S GOLIAD ST
ROCKWALL, TX 75087

RESIDENT
389 BLANCHE DR
ROCKWALL, TX 75032

RESIDENT
390 BLANCHE DR
ROCKWALL, TX 75032

SANCHEZ JULIO & MARIA
400 CHRIS DR
ROCKWALL, TX 75032

CONTRERAS-AYALA JORGE
400 LYNNE
ROCKWALL, TX 75032

VARGAS FRANCISCO
401 LYNNE DR
ROCKWALL, TX 75032

RESIDENT
405 BLANCHE DR
ROCKWALL, TX 75032

RESIDENT
408 BLANCHE DR
ROCKWALL, TX 75032

MENDOZA ERICK CRUZ
4100 ANDYS LANE
PARKER, TX 75002

RESIDENT
412 LYNNE DR
ROCKWALL, TX 75032

OLGUIN CIRILO
412 CHRIS DR
ROCKWALL, TX 75032

CARRILLO OMAR
ROSALES MARIA M
416 BLANCHE DR
ROCKWALL, TX 75032

RESIDENT
419 BLANCHE DR
ROCKWALL, TX 75032

CARRILLO DIEGO
419 LYNNE DR
ROCKWALL, TX 75032

DOMINGUEZ SALVADOR & DIANA
420 LYNNE DRIVE
ROCKWALL, TX 75032

DOMINGUEZ V SALVADOR & DIANA
420 LYNNE DRIVE
ROCKWALL, TX 75032

CARDENAS RODOLFO
424 CHRIS DR
ROCKWALL, TX 75032

RESIDENT
429 CHRIS DR
ROCKWALL, TX 75032

AVALOS EDUARDO & CARMEN
432 BLANCHE DR
ROCKWALL, TX 75032

HERNANDEZ GREGORIA HERNANDEZ
434 CHRIS
ROCKWALL, TX 75032

RESIDENT
435 BLANCHE DR
ROCKWALL, TX 75032

ANAYA JUAN C & RAUL
439 PERCH RD
ROCKWALL, TX 75032

TORRES ALONSO & MARIA DEL ROSARIO YANEZ
441 LYNN DR
ROCKWALL, TX 75032

TORRES ALONSO
441 LYNNE DR
ROCKWALL, TX 75032

RANGEL JUAN
4427 FM 550
ROYSE CITY, TX 75187

GOMEZ MIGUEL URBINA AND LILIA GARCIA
RANGEL
444 CHRIS DR
ROCKWALL, TX 75032

RESIDENT
445 CHRIS DR
ROCKWALL, TX 75032

LICEA JOSE & LYTA
448 LYNNE DR
ROCKWALL, TX 75032

LICEA DELFINO
448 LYNNE DR
ROCKWALL, TX 75032

LICEA JOSE DELFINO
448 LYNNE DR
ROCKWALL, TX 75032

RESIDENT
453 LYNNE DR
ROCKWALL, TX 75032

RESIDENT
455 BLANCHE DR
ROCKWALL, TX 75032

RESIDENT
457 CHRIS DR
ROCKWALL, TX 75032

RESIDENT
458 LYNNE DR
ROCKWALL, TX 75032

RESIDENT
462 CHRIS DR
ROCKWALL, TX 75032

RESIDENT
463 EVA PL
ROCKWALL, TX 75032

RESIDENT
464 BLANCHE DR
ROCKWALL, TX 75032

RESIDENT
465 CHRIS DR
ROCKWALL, TX 75032

RESIDENT
472 LYNNE DR
ROCKWALL, TX 75032

RESIDENT
473 LYNNE DR
ROCKWALL, TX 75032

JARAMILLO GABRIELA
473 BLANCHE DR
ROCKWALL, TX 75032

RESIDENT
474 CHRIS DR
ROCKWALL, TX 75032

BENTLEY FRED W
476 BLANCHE DR
ROCKWALL, TX 75032

NEVAREZ LUIS E & ALMA
479 CHRIS DR
ROCKWALL, TX 75032

RESIDENT
481 BLANCHE DR
ROCKWALL, TX 75032

CASTILLO IGNACIO
481 LYNNE DR
ROCKWALL, TX 75032

CASTILLO IGNACIO
481 LYNNE DR
ROCKWALL, TX 75032

GARZA ISAI
482 EVA PL
ROCKWALL, TX 75032

RESIDENT
485 EVA
ROCKWALL, TX 75032

SMITH HELEN A
486 CHRIS DR
ROCKWALL, TX 75032

HERNANDEZ DANIEL CONTRERAS AND
PATRICIA CARREON DE CONTRERAS
488 BLANCHE DRIVE
ROCKWALL, TX 75032

CASTRO MATEO IBARRA & ADELA SIERRA
IBARRA
490 LYNNE DRIVE
ROCKWALL, TX 75032

RESIDENT
491 LYNNE DR
ROCKWALL, TX 75032

CASTILLO SIXTO & MARIA
491 CHRIS DR
ROCKWALL, TX 75032

VILLEGAS RANFERI LUVIANO AND
JAQUELINE ROSALES
494 EVA PLACE
ROCKWALL, TX 75032

DIAZ JOSE LUIS
494 LYNNE DR
ROCKWALL, TX 75032

DIAZ JOSE LUIS & MARICELA
494 LYNNE DR
ROCKWALL, TX 75032

RESIDENT
496 CHRIS DR
ROCKWALL, TX 75032

SUAREZ ERIKA & ALFREDO ESTRADA
497 BLANCHE
ROCKWALL, TX 75032

VELASQUEZ LORENA
501 CHRIS DRIVE
ROCKWALL, TX 75033

DIAZ MARIA L FLORES
503 LYNNE DR
ROCKWALL, TX 75032

RESIDENT
505 EVA PL
ROCKWALL, TX 75032

RESIDENT
506 CHRIS DR
ROCKWALL, TX 75032

RESIDENT
506 EVA
ROCKWALL, TX 75032

AGUILAR ROSALINA
507 BLANCHE DR
ROCKWALL, TX 75032

RESIDENT
510 BLANCHE DR
ROCKWALL, TX 75032

ALVARADO HERALD DAVID CORDOVA
5112 WOLVERTON CT
GARLAND, TX 75043

RESIDENT
513 CHRIS DR
ROCKWALL, TX 75032

SANCHEZ GERARDO RAFAEL AND LILIA
GALLEGOS
516 CHRIS DR
ROCKWALL, TX 75032

RESIDENT
517 LYNNE DR
ROCKWALL, TX 75032

GARCIA JUAN
519 BLANCHE
ROCKWALL, TX 75087

RESIDENT
520 EVA
ROCKWALL, TX 75032

FLORES JAIME W &
MARLENE CASTRO
520 LYNNE DR
ROCKWALL, TX 75032

MONTANEZ MARIA LAUREN
5245 COUNTY ROAD 2515
ROYSE CITY, TX 75189

RESIDENT
528 CHRIS DR
ROCKWALL, TX 75032

RESIDENT
529 EVA
ROCKWALL, TX 75032

RESIDENT
532 EVA
ROCKWALL, TX 75032

RESIDENT
532 LYNNE DR
ROCKWALL, TX 75032

CARMONA-SANCHEZ CARLOS FRANCISCO
532 BLANCHE DRIVE
ROCKWALL, TX 75032

RESIDENT
535 BLANCHE DR
ROCKWALL, TX 75032

RESIDENT
538 LYNNE DR
ROCKWALL, TX 75032

RODRIGUEZ ROMAN
540 CHRIS DR
ROCKWALL, TX 75032

RESIDENT
541 LYNNE DR
ROCKWALL, TX 75032

RESIDENT
548 EVA
ROCKWALL, TX 75032

RESIDENT
551 LYNNE DR
ROCKWALL, TX 75032

GONZALEZ LUIS ENRIQUE VALDEZ
552 LYNNE DRIVE
ROCKWALL, TX 75032

RESIDENT
558 EVA
ROCKWALL, TX 75032

MEDINA CESAR
570 EVA PL
ROCKWALL, TX 75032

RESIDENT
582 EVA
ROCKWALL, TX 75032

ALVARES FLORINA GUTIERREZ &
ENRIQUE RENE ORTIZ GARCIA
594 EVA PL
ROCKWALL, TX 75032

RESIDENT
602 EVA
ROCKWALL, TX 75032

DEJESUS SANTOS
616 EVA PL
ROCKWALL, TX 75032

RODRIGUEZ FLORENCIO GOMEZ
630 EVA
ROCKWALL, TX 75032

GUEVARA JOSE E & MARIS
6938 STATE HIGHWAY 50
COMMERCE, TX 75428

GUEVARA JOSE E
6938 STATE HIGHWAY 50
COMMERCE, TX 75428

ROBLES DONERY ALEXANDER & MAGDENLENA
AVARADO
8306 AMERICAS CUP
ROWLETT, TX 75089

RANGEL LUIS GERARDO AND
MARIA DEL ROCIO ZARATE
907 WILLOW RIDGE
ROCKWALL, TX 75032

DELGADO JUAN AND
ADELAIDA REYES REYES AND PABLO E STRADA
REYES AND
JUAN J ESTRADA REYES 558 EVA
ROCKWALL, TX 75087

RAOFPUR DAVID & SAADAT
CHILDREN'S EDUCATION TRUST
PO BOX 2051
DEL MAR, CA 92014

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2023-028: SUP for Residential Infill

Hold a public hearing to discuss and consider a request by Alex Flores for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.1650-acre parcel of land identified as Lot 873-A, Rockwall Lake Estates Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 481 Blanche Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, June 13, 2023 at 6:00 PM, and the City Council will hold a public hearing on Monday, June 19, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Angelica Guevara
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, June 19, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2023-028: SUP for Residential Infill

Please place a check mark on the appropriate line below:

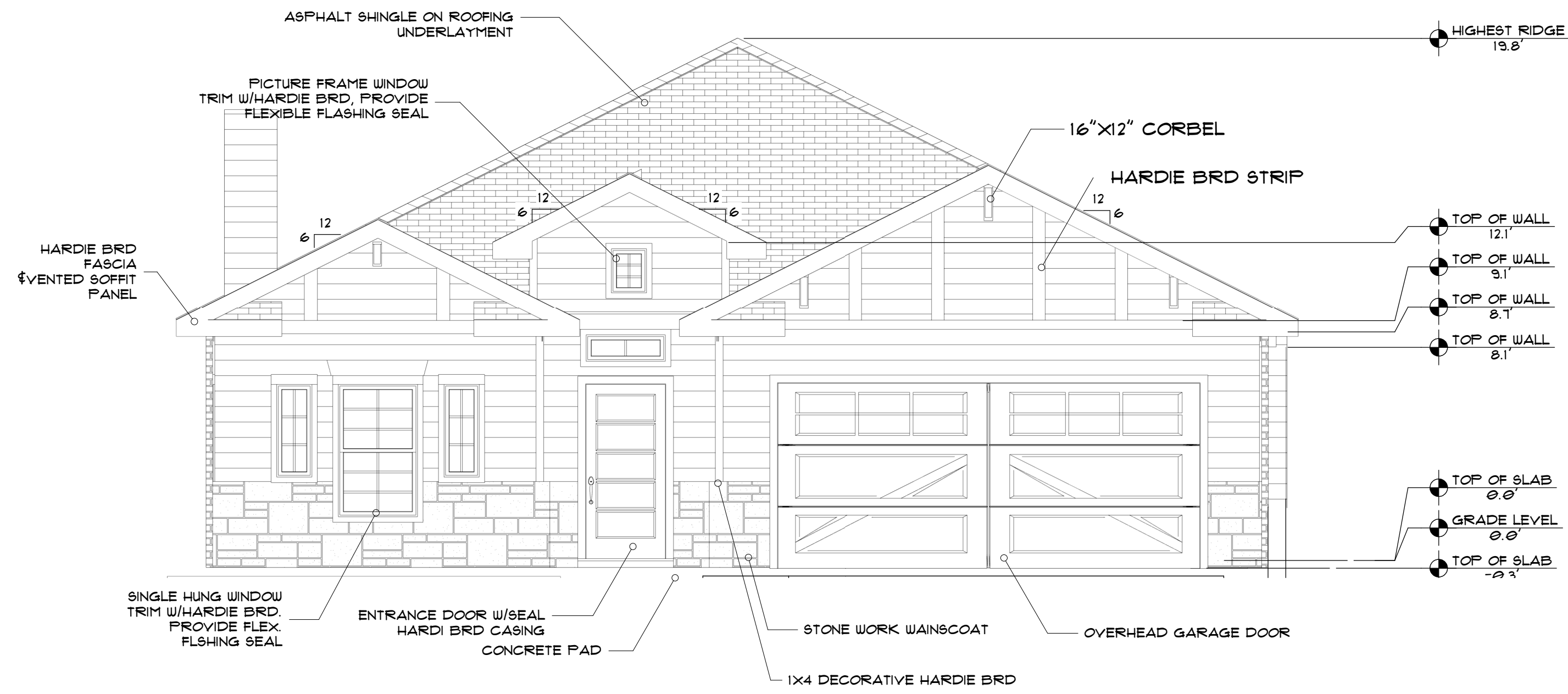
- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for the response.

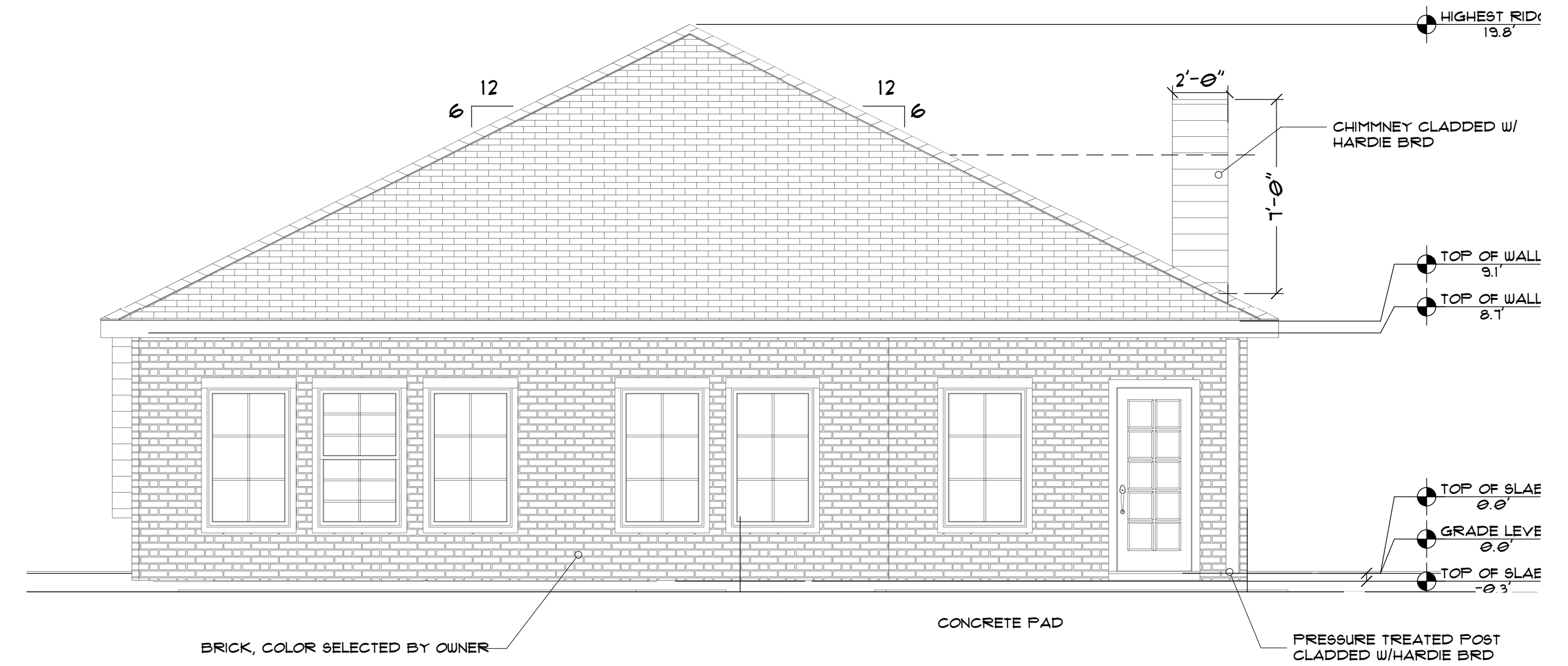
Name:
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

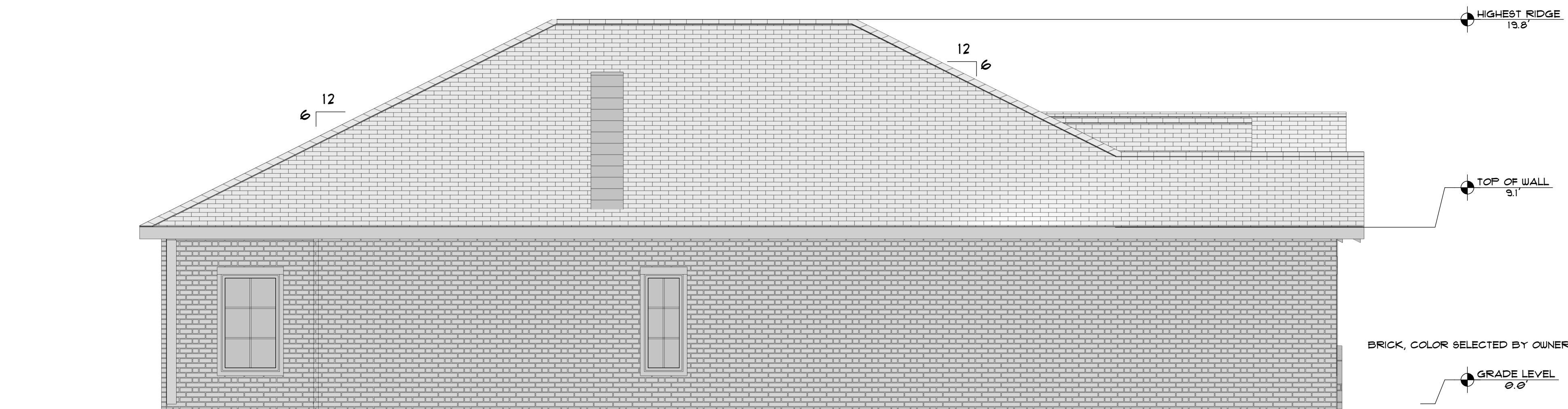
PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



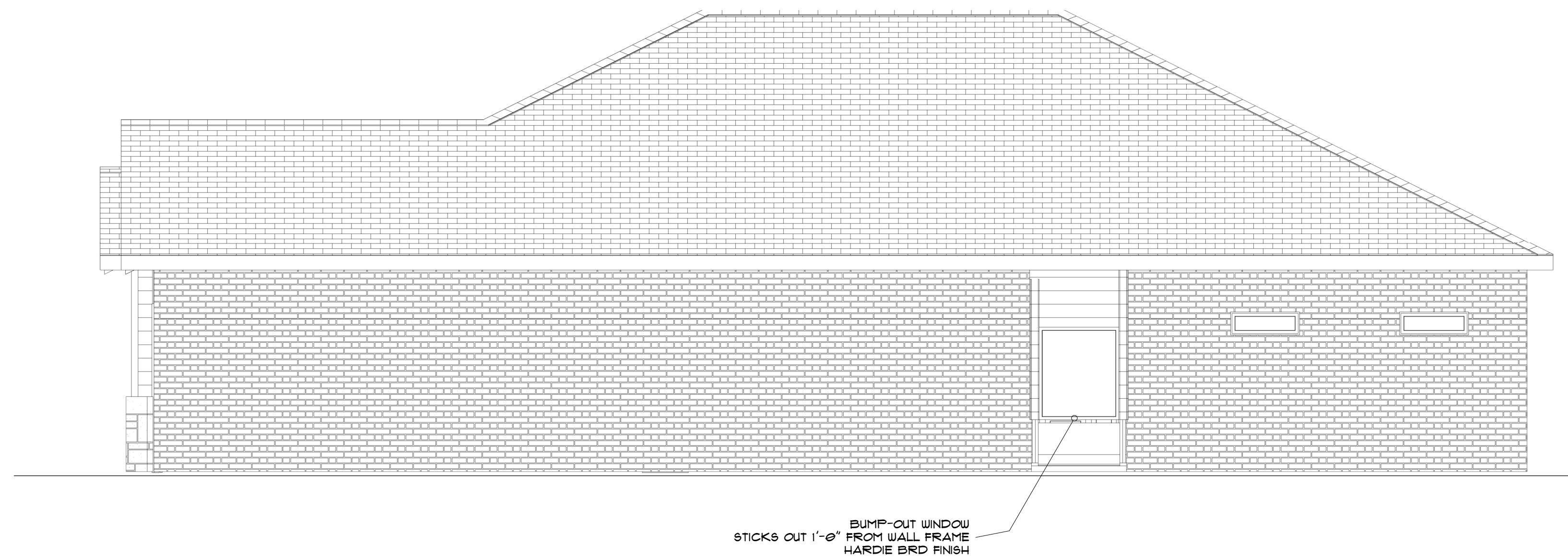
1 ELEVATION- FRONT VIEW
SCALE: 1/4"=1'



2 ELEVATION- REAR VIEW
SCALE: 1/4"=1'



3 ELEVATION- LEFT VIEW
SCALE: 1/4"=1'



4 ELEVATION- RIGHT VIEW
SCALE: 1/4"=1'

REVISION TABLE	NUMBER	DATE	REVISED BY	DESCRIPTION

TDG THE DRAFTER GUY
DRAFTING & DESIGN
8000 US 380, CROSSROADS, TX, ST#100
469-879-6130

Project:
**Proposed Single Story Residence at
481 Blanche st, Rockwall, Tx**

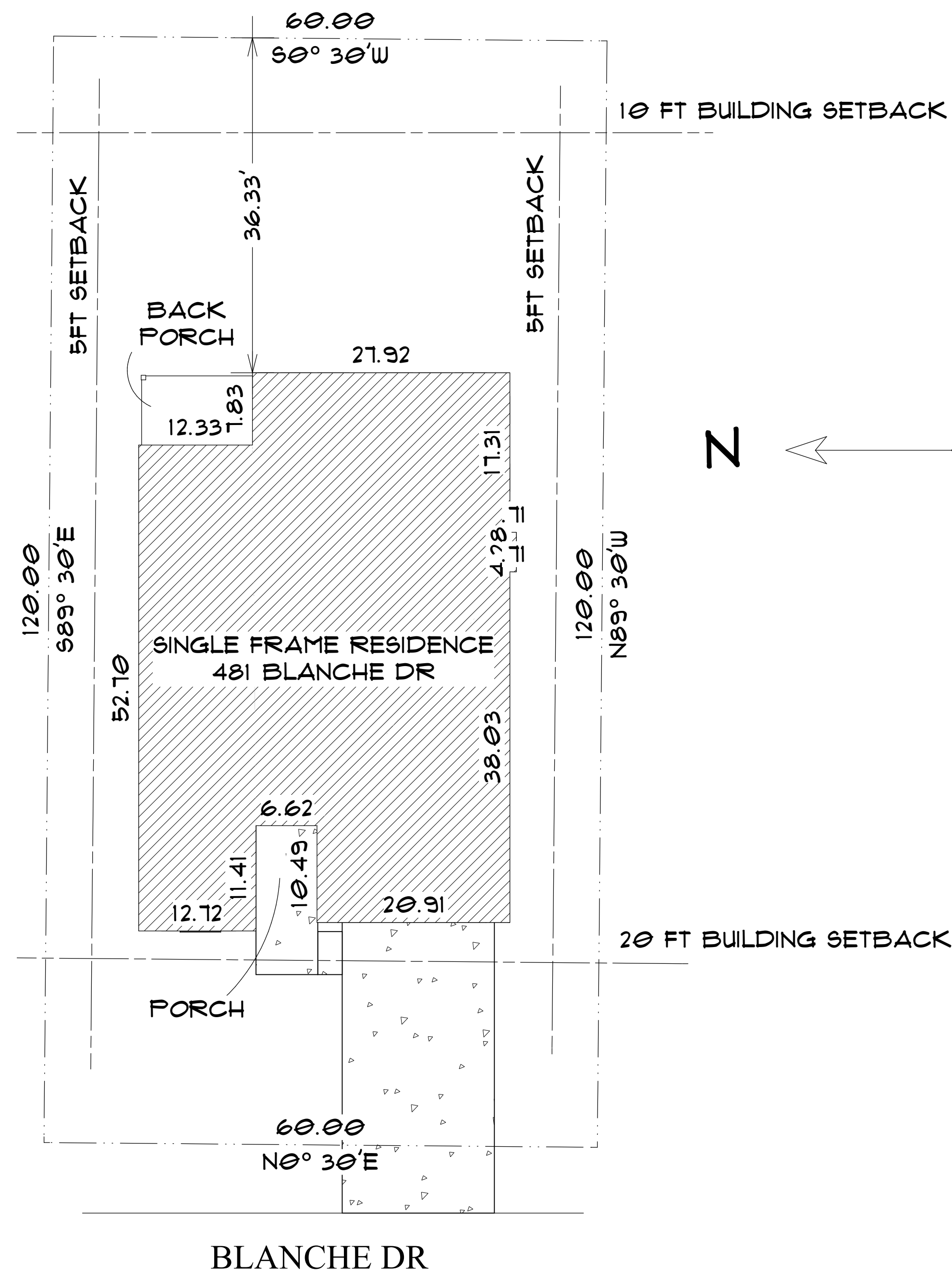
Client:
**Erick
Mendoza**

Description:
Elevations

Date:
3/23/2020

Scale:
1/4"=1'

Sheet:
A3.2



1 SITE PLAN
SCALE: 1"=20'

SITE PLAN LEGEND

- PROPERTY BOUNDARY
- PROPERTY SETBACK

REVISION TABLE	NUMBER	DATE	REVISED BY	DESCRIPTION

TDG THE DRAFTER GUY
DRAFTING & DESIGN
8000 US 380, CROSSROADS, TX, ST#100
469-579-6130

Project:
**Proposed Single Story Residence at
481 Blanche st, Rockwall, Tx**

Client:
**Erick
Mendoza**

Description:
**Site Plan &
Erosion
Control Plan**

Date:
3/23/2020

Scale:
1/4"=1'

Sheet:
A2.1

DOOR AND WINDOW NOTES:

-EVERY BEDROOM SHALL BE PROVIDED WITH AN EGRESS WINDOW WITH FINISH SILL HEIGHT NOT GREATER THAN 44" ABOVE THE FINISH FLOOR HEIGHT AND SHALL HAVE A MINIMUM OPENABLE AREA OF 5.7 SQ. FT.

-EGRESS WINDOWS SHALL NOT HAVE AN OPENABLE AREA LESS THAN 20" WIDE OR 24" HIGH.

-ALL WALK-THRU DOORS SHALL BE SOLID CORE INTERIOR DOORS SHALL BE PAINTED. -ENTRY DOOR TO BE DEFINED BY HOME OWNER PRIOR ORDERING DOORS.

BETWEEN GARAGE AND LIVING AREA SHALL BE 1-3/4" TIGHT FITTING SOLID CORE DOORS WITH A RATING OF 60 MINUTES.

DOOR SHALL BE SELF CLOSING EXTERIOR EXIT DOORS WILL BE 36" MIN.

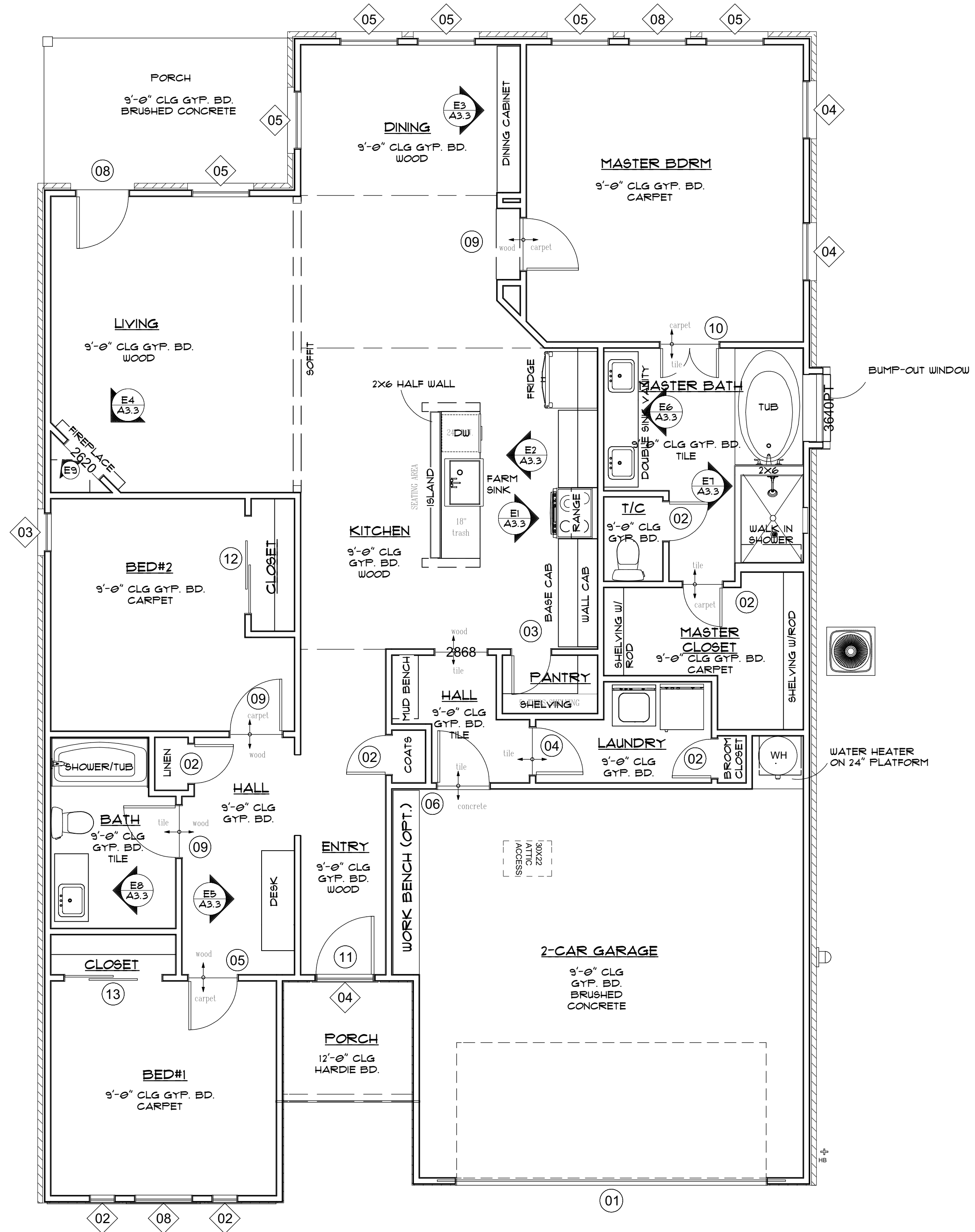
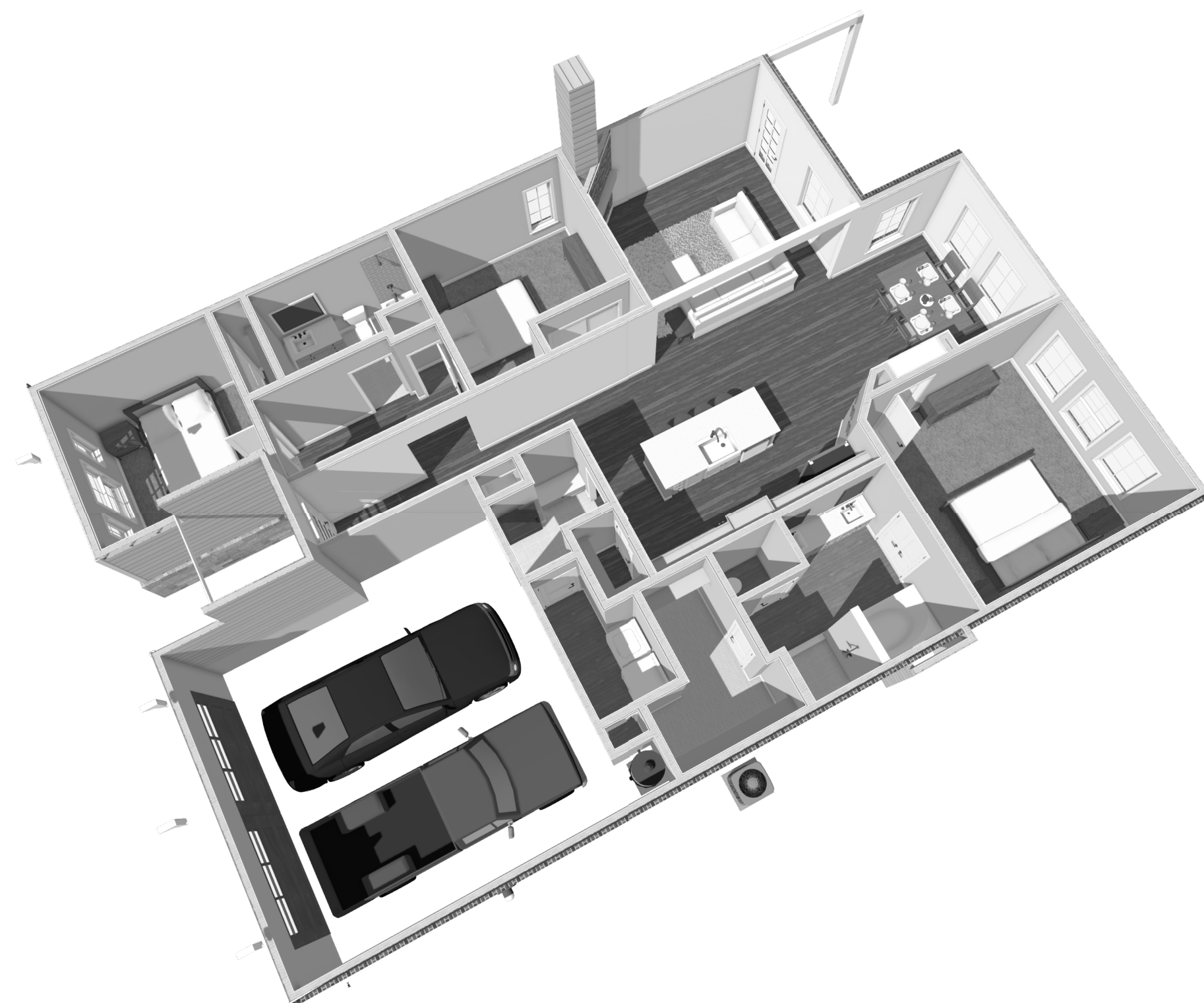
NET CLEAR DOORWAY SHALL BE 32" MIN. DOOR SHALL BE OPENABLE FROM INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.

GLAZING IN DOORS SHALL BE DUAL PANE SAFETY GLASS WITH MIN. U-VALUE OF 0.60

WINDOW SCHEDULE											
NUMBER	LABEL	QTY	FLOOR	SIZE	WIDTH	HEIGHT	R/O	EGRESS	DESCRIPTION	HEADER	COMMENTS
01	1418FX	1	2	1418FX	16"	20"	11"X21"		FIXED GLASS	2X6X20" (2)	
02	1436FX	2	1	1436FX	16"	42"	11"X43"		FIXED GLASS	2X6X20" (2)	
03	2050FX	1	1	2050FX	24"	60"	25"X61"	YES	FIXED GLASS	2X6X28" (2)	
04	3010FX	3	1	3010FX	36"	12"	31"X13"		FIXED GLASS	2X6X40" (2)	
05	3050FX	6	1	3050FX	36"	60"	31"X61"		FIXED GLASS	2X6X40" (2)	
06	3050SH	2	1	3050SH	36"	60"	31"X61"	YES	SINGLE HUNG	2X6X40" (2)	
09	3640FX	1	1	3640FX	41 1/2"	48"	42 1/2"X49"		FIXED GLASS	2X6X45 1/2" (2)	

DOOR SCHEDULE										
NUMBER	LABEL	QTY	SIZE	WIDTH	HEIGHT	R/O	DESCRIPTION	HEADER	THICKNESS	COMMENTS
01	16070	1	16070	192"	84"		GARAGE-GARAGE DOOR CHD11	2X12X200" (2)	1 3/4"	
02	2068	5	2068 L IN	24"	80"		HINGED-DOOR P03	2X6X29" (2)	1 3/8"	
03	2068	1	2068 R IN	24"	80"		HINGED-DOOR P03	2X6X29" (2)	1 3/8"	
04	2568	1	2568 R IN	29"	80"		HINGED-DOOR P03	2X6X34" (2)	1 3/4"	
05	2668	1	2668 R IN	30"	80"		HINGED-DOOR P03	2X6X35" (2)	1 3/8"	
06	2868	1	2868 L EX	32"	80"		EXT. HINGED-DOOR P03	2X6X37" (2)	1 3/8"	
08	2868	1	2868 R EX	32"	80"		EXT. HINGED-DOOR F05	2X6X37" (2)	1 3/4"	
09	2868	3	2868 R IN	32"	80"		HINGED-DOOR P03	2X6X37" (2)	1 3/8"	
10	3068	1	3068 L/R IN	36"	80"		DOUBLE HINGED-DOOR P03	2X6X41" (2)	1 3/8"	
11	3068	1	3068 R EX	36"	80"		EXT. HINGED-DOOR F04	2X6X41" (2)	1 3/4"	
12	5068	1	5068 L IN	60"	80"		SLIDER-DOOR P03	2X8X65" (2)	1 3/8"	
13	5068	1	5068 R IN	60"	80"		SLIDER-DOOR P03	2X8X65" (2)	1 3/8"	

BRICK CALCULATIONS					
	FRONT	LEFT	RIGHT	REAR	TOTAL
TOTAL WALL (S.F.)	315.8	493.7	486.7	210.9	1,507.1 S.F.
TOTAL MASONRY	58.0	493.7	486.7	210.9	1,249.3 S.F.
TOTAL SIDING	257.8	0	0	0	257.8 S.F.
BRICK %	18.4%	100.00%	100.00%	100.00%	
TOTAL MASONRY (% HOUSE)	22.9%				



1 MASTER FLOOR PLAN - 1ST FLOOR
SCALE: 1/4"=1'

REVISION TABLE	REVISION BY	DESCRIPTION
NUMBER	DATE	

TDG THE DRAFTER GUY
DRAFTING & DESIGN
8000 US 380, CROSSROADS, TX, 75110
469-879-6150

Project:
**Proposed Single Story Residence at
481 Blanche st, Rockwall, Tx**

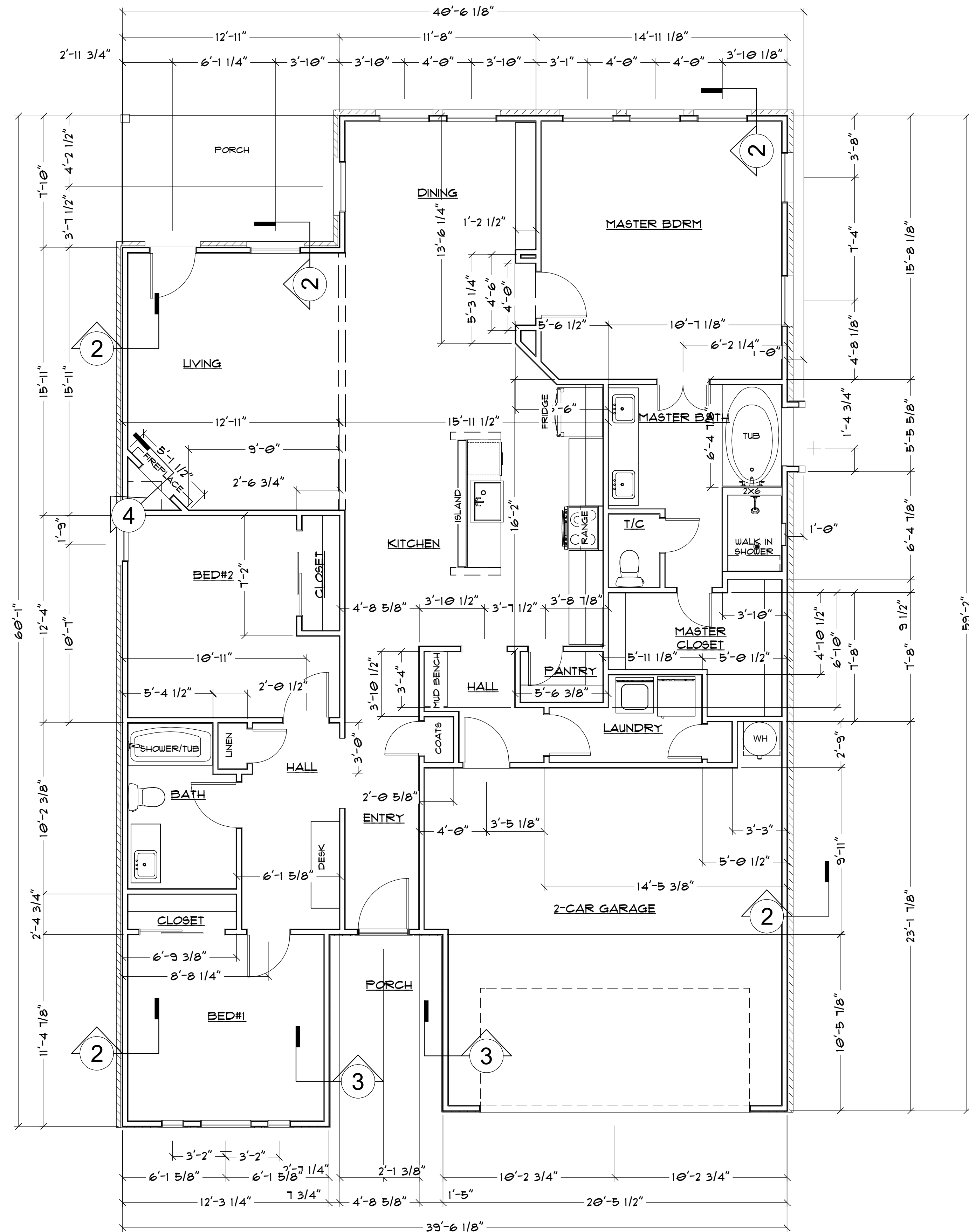
Client:
**Erick
Mendoza**

Description:
**Master
Floorplan**

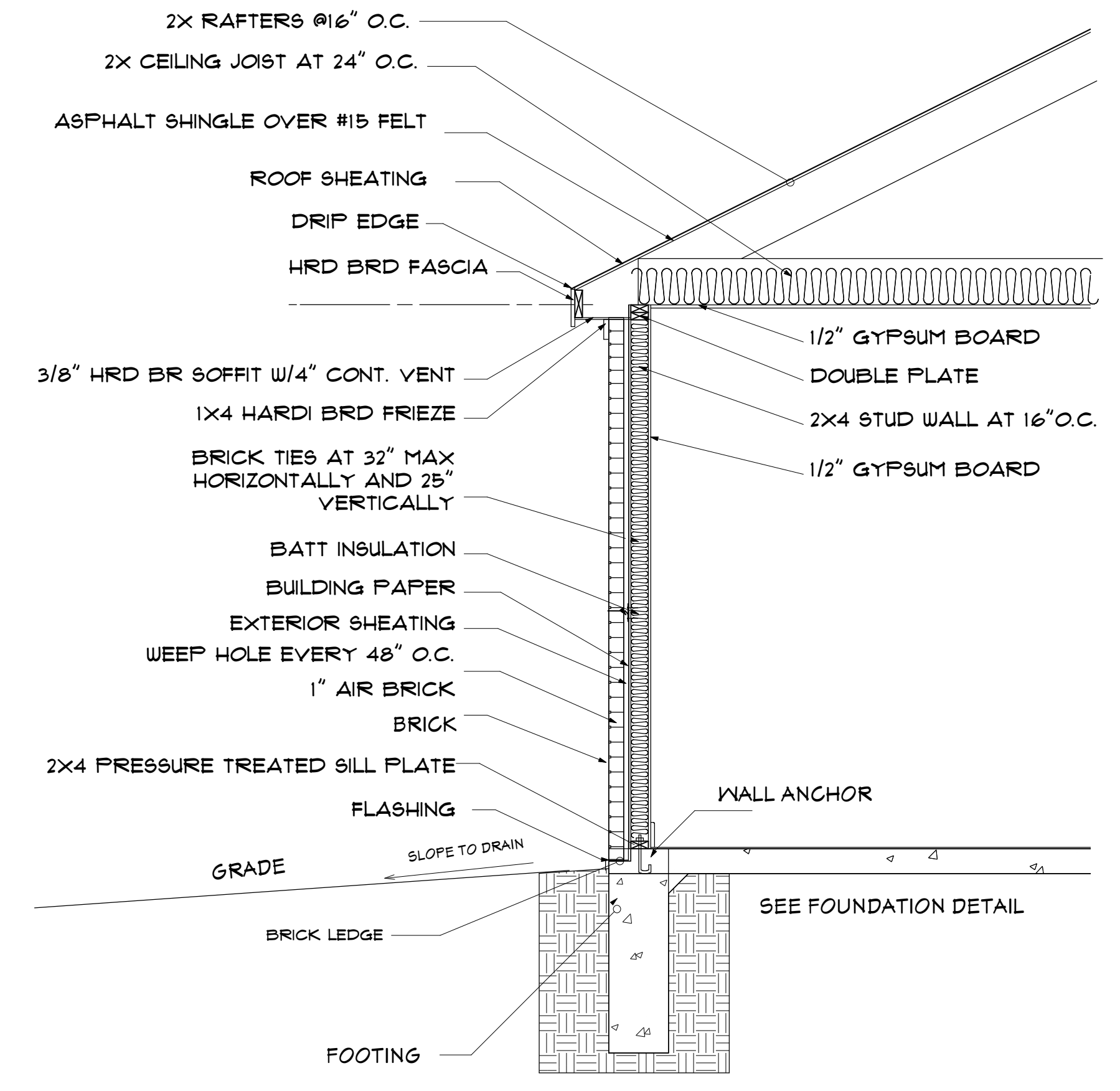
Date:
3/23/2020

Scale:
1/4"=1'

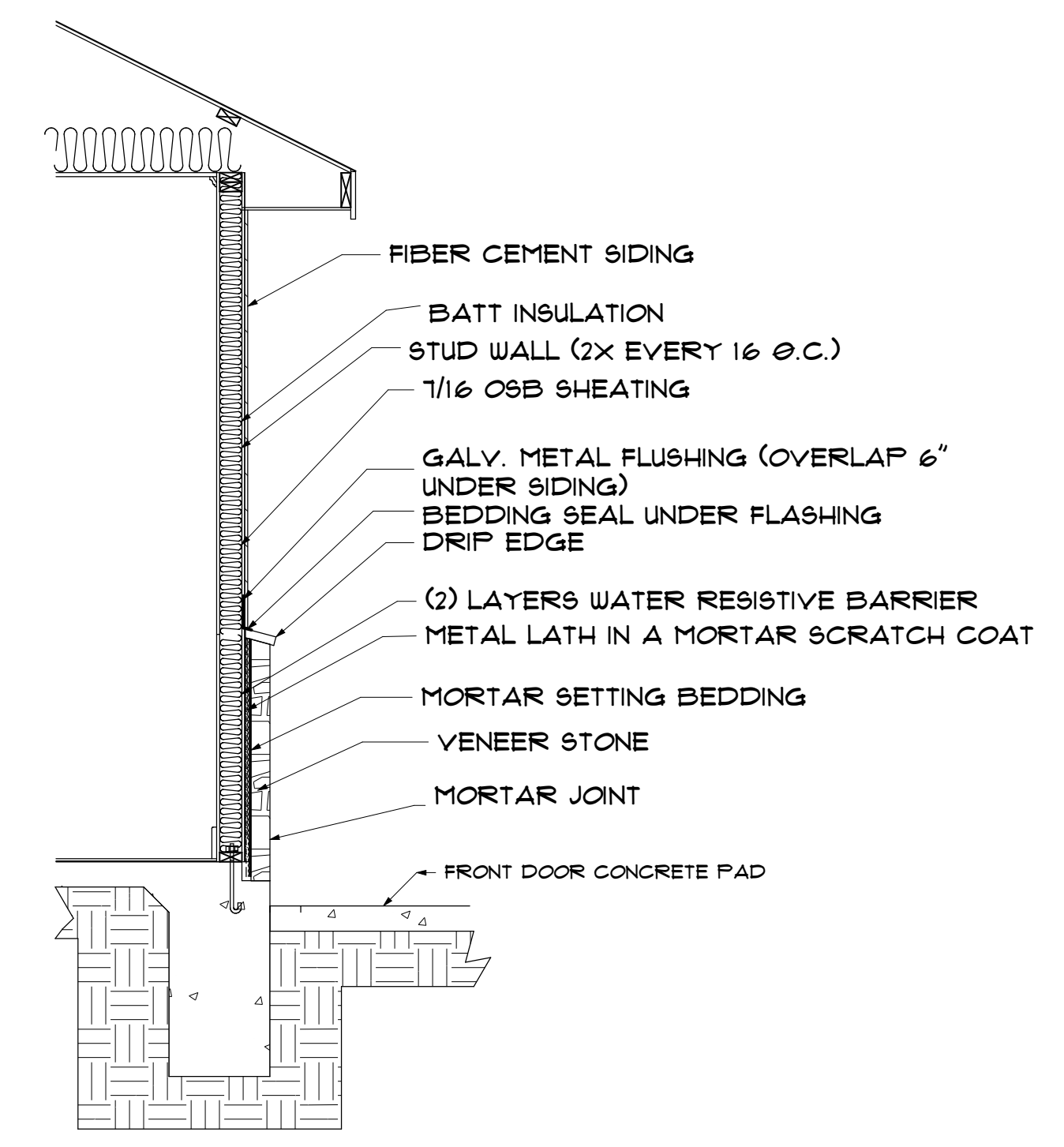
Sheet:
A1.3



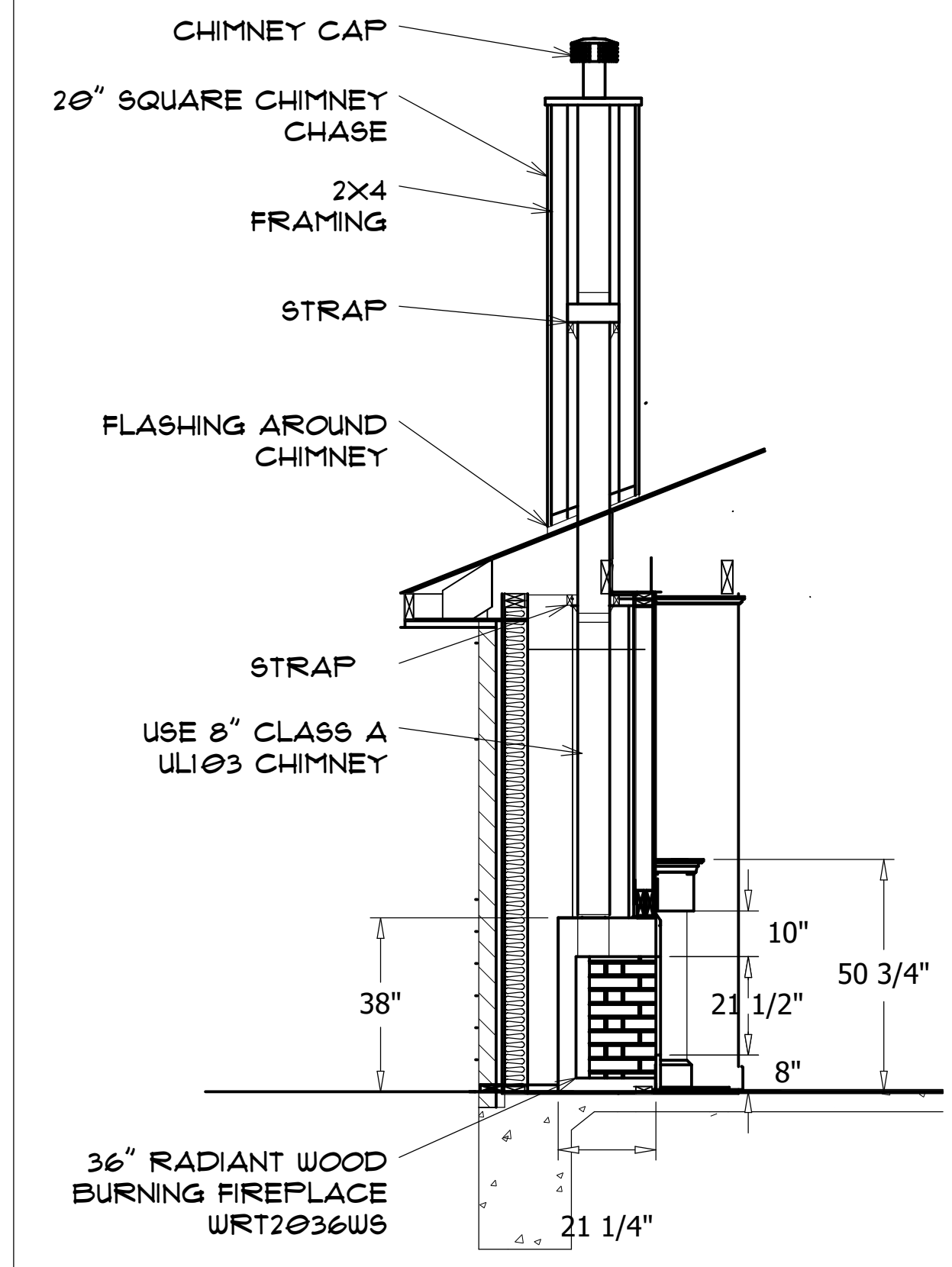
1 DIMENSIONED FLOOR PLAN
SCALE: 1/4"=1'



2 WALL DETAIL @ BRICK
SCALE: 1/2"=1'



3 WALL DETAIL @ STONE/SIDING
SCALE: 1/2"=1'



4 CHIMNEY DETAIL
SCALE: 3/8"=1'

REVISION TABLE	NUMBER	DATE	REVISOR	DESCRIPTION

TDG THE DRAFTER GUY
DRAFTING & DESIGN
8000 US 380, CROSSROADS, TX, ST#100
469-979-6130

Project:
**Proposed Single Story Residence at
481 Blanche st, Rockwall, Tx**

Client:
**Erick
Mendoza**

Description:
**Dimensioned
Plan**

Date:
3/23/2020

Scale:
1/4"=1'

Sheet:
A3.1

CITY OF ROCKWALL

ORDINANCE NO. 23-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 75 (PD-75) [ORDINANCE NO. 16-01] AND THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.1650-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 873-A OF THE LAKE ROCKWALL ESTATES PHASE 2 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Alex Flores for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.1650-acre parcel of land identified as Lot 873-A of the Lake Rockwall Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 481 Blanche Drive, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that Planned Development District 75 (PD-75) [*Ordinance No. 16-01*] and the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That Planned Development District 75 (PD-75) [*Ordinance No. 16-01*] and the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Planned Development District 75 (PD-75) [*Ordinance No. 16-01*] and Subsection 03.01, *General Residential District Standards*, and Subsection 03.09, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'A'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'B'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full

force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 17th OF JULY, 2023.**

Trace Johannesen, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

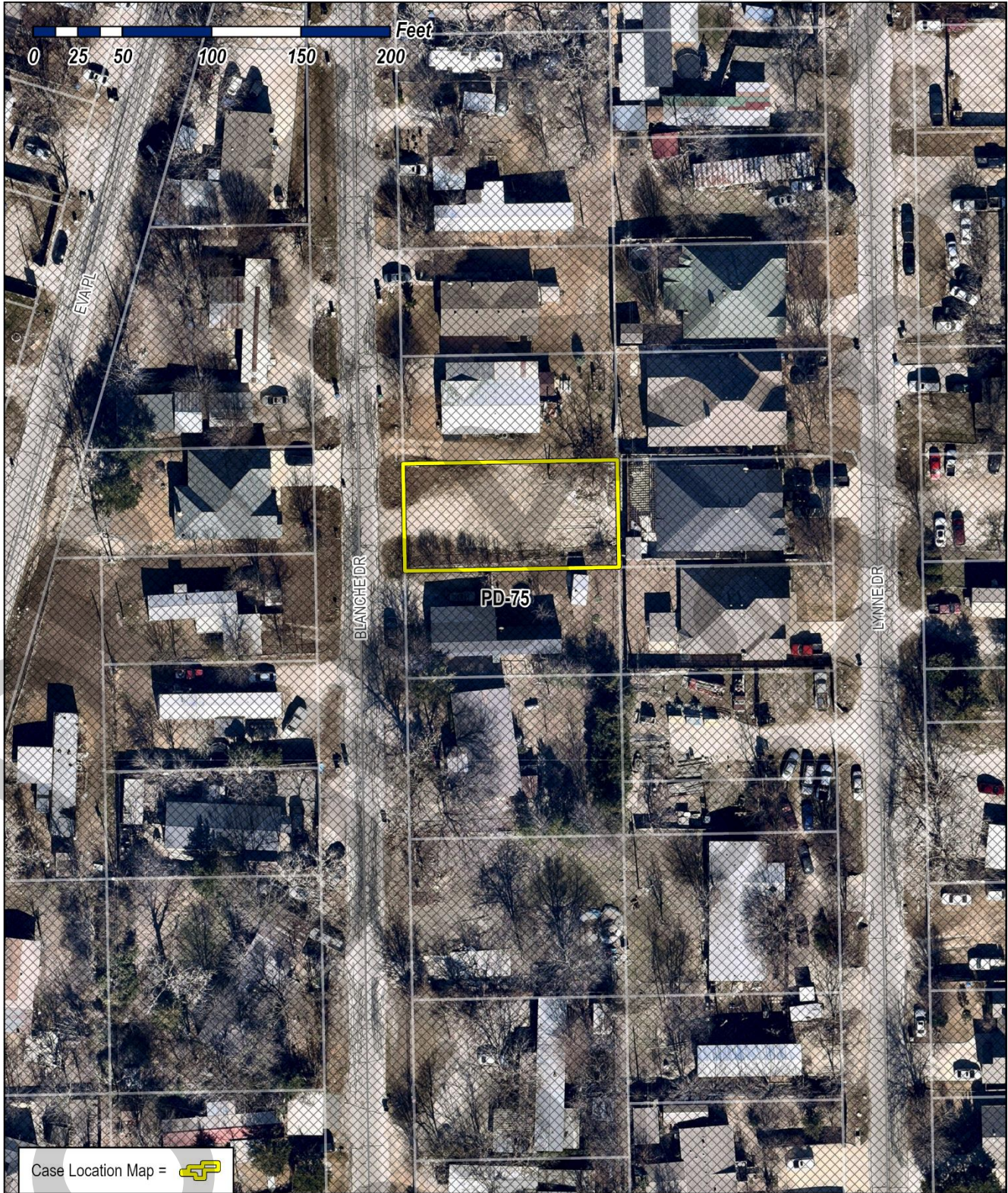
1st Reading: June 19, 2023

2nd Reading: July 17, 2023

Exhibit 'A':
Location Map and Residential Plot Plan

Address: 481 Blanche Drive

Legal Description: Lot 873-A of the Lake Rockwall Estates Phase 2 Addition



Case Location Map = 

Exhibit 'A':
Location Map and Residential Plot Plan

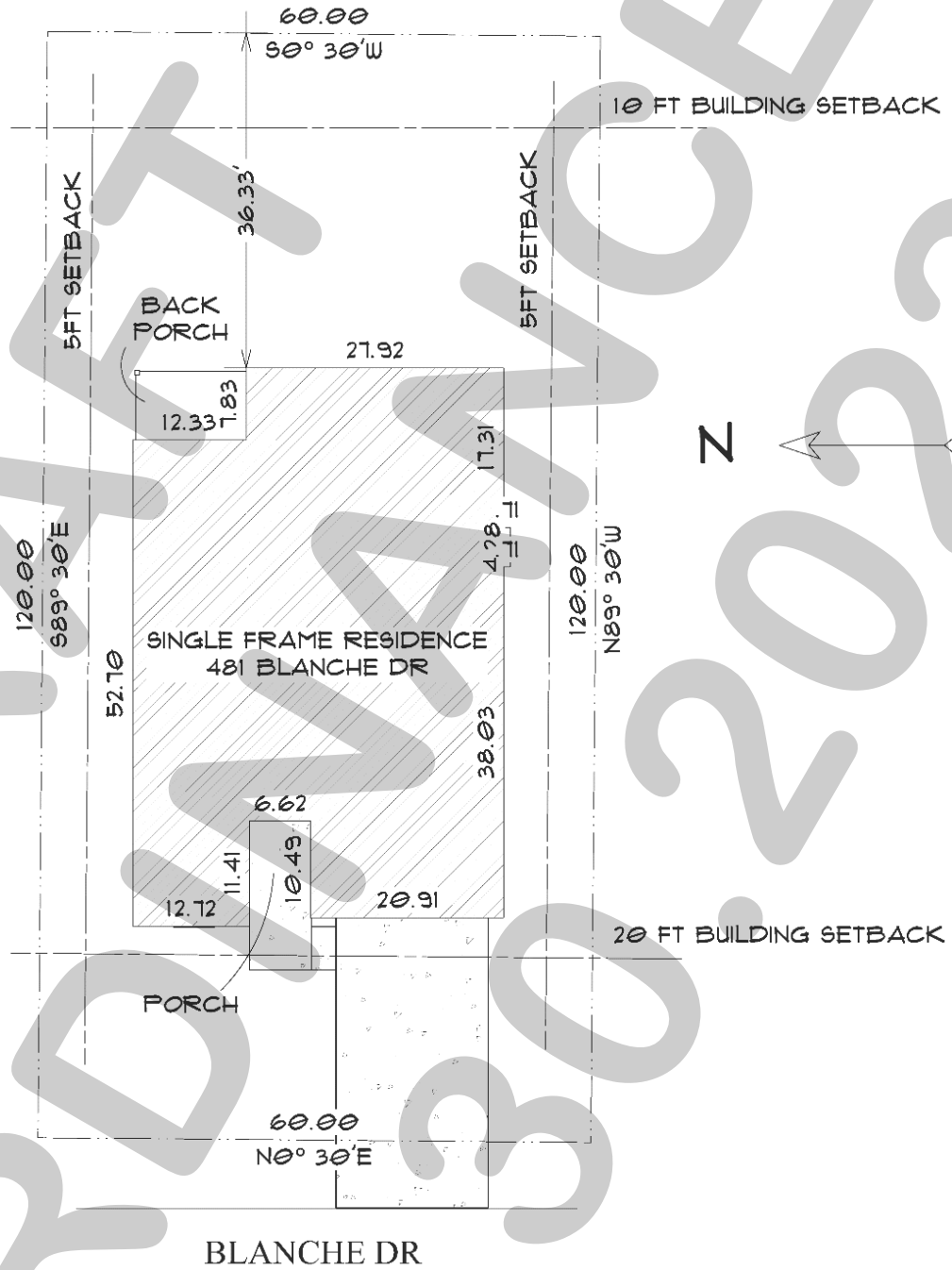


Exhibit 'B': Building Elevations

REVISION TABLE

NO.	DESCRIPTION	DATE

THE DRAFTER CUY
ARCHITECTS & DESIGNERS
8000 S. DORTCHER BLVD., SUITE 100
ROCKWALL, TEXAS 75087
469-9741

Proposed Single Story Residence at
481 Blanche St, Rockwall, TX

Project: 481 Blanche
Architect: Mardine
Date: 3/21/2023
Scale: 1/4" = 1'-0"
Sheet: A3.2

1 ELEVATION-FRONT VIEW
SCALE: 1/4" = 1'-0"

2 ELEVATION-REAR VIEW
SCALE: 1/4" = 1'-0"

3 ELEVATION-LEFT VIEW
SCALE: 1/4" = 1'-0"

4 ELEVATION-RIGHT VIEW
SCALE: 1/4" = 1'-0"